

# PLANNING COMMISSION

2267 North 1500 West  
Clinton City, UT 84015

Phone: (801) 614-0740

Fax: (801) 614-0752

Web Site: [www.clintoncity.net](http://www.clintoncity.net)

## AGENDA

September 20, 2016

7:00 pm

There will be a meeting of the Clinton City Planning Commission held on the date mentioned above in the **Council Chambers** of Clinton City; **City Hall located at 2267 North 1500 West.**

### Clinton City Planning Commission

Chairman  
Jacob Briggs

Vice Chairman  
Bob Buckles

Members  
David Coombes  
Jolene Cressall  
Andy Hale  
Jeff Ritchie  
Anthony O. Thompson

City Staff  
Will Wright

	Pledge	Appointed
	Invocation or Thought	Appointed
	Roll Call	Chair
	City Council Report	Staff
	Planning Commission Minutes for September 6, 2016	Chair
	Declaration of Conflicts	Chair
1.	<b>PUBLIC HEARINGS:</b> <b>7:05 p.m.</b> -- Review and action upon a request from Daniel Thurgood, Verizon Wireless, for a Site Plan Review to install an antenna on the rooftop of Walmart, along with equipment area next to the building to operate the antenna. Project location is 1632 North 2000 West, Clinton.	
2.	<b>7:15 p.m.</b> – Review and action upon a request from Kyle and Lindsay Hamblin, for a recommendation to the City Council to amend the Final Plat of the Country Homes Subdivision by combining an additional parcel to lot 13 located at 2063 North 2475 West, Clinton.	
3.	<b>7:25 p.m.</b> – Review Ordinance 16-02Z to recommend to the City Council amending the Clinton City Zoning Code Chapter 26-22 Patio Home (PH) Zone by adding stucco as an approved building material for the side and rear part of a house.	
4.	<b>WORK SESSION:</b> Consider Chapter 3 of the City’s Subdivision Ordinance as well as any other chapters or sections of this ordinance. Should start at Section 26-3-6 of the Subdivision Ordinance.	
5.	<b>COMMISSION COMMENTS</b>	
6.	<b>ADJOURN</b>	



**CLINTON CITY PLANNING COMMISSION  
CITY HALL  
2267 North 1500 W Clinton UT 84015**

**Planning Commission Members**

*Chair – Jacob Briggs*

*Vice Chair – Bob Buckles*

*Tony Thompson*

*Dave Coombs*

*Jolene Cressall*

*Jeff Ritchie*

*Andy Hale*

<b>Date of Meeting</b>	<b>September 6, 2016</b>	<b>Call to Order</b>	<b>7:02 p.m.</b>
<b>Staff Present</b>	Community Development Director Will Wright and Lisa Titensor recorded the minutes.		
<b>Citizens Present</b>			
<b>Pledge of Allegiance</b>	Commissioner Buckles		
<b>Prayer or Thought</b>	Commissioner Hale		
<b>Roll Call &amp; Attendance</b>	Present were: Commissioners’ Dave Coombs, Andy Hale, Jeff Ritchie and Jacob Briggs  Commissioner Cressall arrived at 8:10 p.m.  Excused were: Commissioner Tony Thompson		
<b>City Council Report</b>	Mr. Wright reported on the August 23, 2016 City Council meeting and the August 31, 2016 special City Council meeting as recorded in the minutes.		
<b>Declaration of Conflicts</b>	There were none.		
<b>Approval of Minutes</b>	<p><b>Commissioner Hale moved to approve the August 2, 2016 Planning Commission minutes. Commissioner Coombs seconded the motion. Commissioners, Ritchie, Coombs, Hale and Briggs voted in favor of the motion. Commissioner Buckles abstained.</b></p> <p><b>Commissioner Buckles moved to table the August 16, 2016 Planning Commission minutes to the September 20, 2016 meeting unless Commissioner Cressall arrives in time to approve them during this meeting. Commissioner Coombs seconded the motion. Commissioners’ Hale, Ritchie, Buckles Coombs and Briggs voted in favor of the motion. (Commissioner Cressall arrived at 8:10 p.m.)</b></p> <p><b>At 9:26 p.m. Commissioner Buckles moved to approve the August 16, 2016 Planning Commission minutes. Commissioner Cressall seconded the motion. Commissioner’s Ritchie, Buckles and Coombs voted in favor; Commissioner Hale abstained.</b></p>		
<b>WORKSESSION - CONSIDER CHAPTER 3 OF THE CITY’S SUBDIVISION ORDINANCE AS WELL AS ANY OTHER CHAPTERS OR SECTIONS OF THIS ORDINANCE. REVIEW SHOULD START AT SECTION 26-3-8 OF THE SUBDIVISION ORDINANCE.</b>			
<b>Petitioner</b>	Community Development		
<b>Discussion</b>	<p><b>26-3-8 <u>Signing and Recordation of Subdivision Plat:</u></b></p> <p><b>(1) <u>Signing of Plat:</u></b></p> <p>(a) When a subdivision improvement agreement and security are required, <del>the Chairman of the Planning Commission</del> and the Mayor shall endorse approval on the final plat after the agreement and security have been approved by the Community Development Director and City Engineer, and all the conditions of the resolution pertaining to the final plat have</p>		

been satisfied.

(b) When installation of improvement is required prior to recordation of the final plat, the ~~Chairman of the Planning Commission and Mayor~~ shall endorse approval on the final plat after all conditions of the resolution have been satisfied and all improvements satisfactorily completed. There shall be written evidence that the required public facilities have been installed in a manner satisfactory to Clinton City as shown by a certificate signed by Clinton City Engineer/Public Facilities Inspector and Clinton City Attorney stating that the necessary dedication of public lands and improvements have been accomplished.

(2) **Recordation of Plat:**

(a) ~~The Chairman of the Planning Commission and Mayor will sign the tracing cloth or reproducible Mylar original of the final subdivision plat.~~

(b) It shall be the responsibility of the Community Development Director to file the final plat with the County Recorder's Office within ten (10) days of the date of the last signature on the final plat. Simultaneously with the filing of the final plat, the Community Development Director shall record the agreement of dedication together with such legal documents as shall be required to be recorded by Clinton City Attorney.

(3) **Phasing Major Subdivision Plats:**

(a) ~~Prior to granting preliminary approval of a major subdivision plat, the Planning Commission may permit the plat to be divided into two or more phases and may impose such conditions upon the filing of the phases as it may deem necessary to assure the orderly development of the subdivision. The Planning Commission may require that the subdivision improvement agreement and security be in such amount as is commensurate with the phase or phases of the plat to be filed and may defer the remaining amount of the security until the remaining phases of the plat are offered for filing. The developer may also file irrevocable offers to dedicate streets and public improvements in the phases offered to be filed and defer filing offers of dedication for the remaining phases until those phases, subject to any conditions imposed by the Planning Commission, shall be granted concurrently with final approval of the plat. If phasing is approved a development agreement shall be established between the Developer and City. Such document shall outline the preliminary plat and all obligations of the two parties reached during the preliminary plat approval as well as any items deemed necessary by the City Council. The development agreement shall be recorded at the County Recorder's Office against all property within the subdivision outlined in the preliminary plat prior to recording of any phase of the subdivision. Such phases must contain at least ten percent (10%) of the total number of lots contained in the approved plat. The approval of all remaining phases not filed with the Recorder's Office shall automatically expire unless such phases have been approved for filing by the Planning Commission, all fees paid, all instruments and offers of dedication submitted and subdivision improvement agreements, security and performance bonds, if any, approved and actually filed with the Recorder's Office within three (3) years of the date of preliminary plat approval of the subdivision plat. (See 3-4(2) Phasing Major Subdivision Plats).~~

~~**26-3-9. Appeals to City Council:** The applicant for subdivision approval may appeal the disapproval of any sketch, preliminary, or final subdivision plat by the Planning Commission by filing a Notice of Appeal with the City Council, with a copy to the Planning Commission, no later than ten (10) days after the date on which the Planning Commission notifies the applicant that it has disapproved the sketch, preliminary, or final subdivision plat. The Notice of Appeal shall set forth in clear and concise fashion the basis for the appeal. The appeal shall be considered at the next regularly scheduled public meeting of the City Council, at which time it may affirm or reverse the decision of the Planning Commission only by a unanimous vote of the members of the City Council present at the meeting. On appeal, the applicant shall be allowed to make a presentation to the City Council under such terms, conditions and procedures as established by the City Council. The City Council shall render a decision affirming or reversing the Planning Commission no later than forty five (45) days after the date on which the Notice of Appeal is presented before the City Council. If the City Council reverses the Planning Commission, the applicant may proceed to submit a preliminary or final plat as is~~

	<p>appropriate under the conditions for approval agreed to by the City Council.</p> <p><del><b>26-3-10 Time Periods for Action:</b> Whenever these regulations establish a time period for action by the City Council, Planning Commission, Community Development Director, such time periods are based upon complete applications, all fees being paid to the City, complete public notices and all necessary approvals and information being provided by other agencies, districts, or parties having specific input to be made on a subdivision. In addition the developer and Community Development Director may reach other timelines as agreed upon to meet the requirements of the City and developer. The City's duty to act is dependent on the applicant's substantial compliance with all applicable application and approval procedures.</del></p> <p><b>26-3-11. Suspension and Invalidation of Final Plat:</b> If the municipality suspends final plat approval for any subdivision plat under these regulations, it shall record a document with the Recorder's Office for Davis County declaring that final approval for the subdivision is suspended and that the further sale, lease, or development of property within the subdivision is prohibited except that this prohibition shall not apply to persons or parties who have acquired property from the subdivider unless the person or party acquiring property meets the definition of "common ownership" in Chapter 2. If any court of competent jurisdiction invalidates final plat approval for any subdivision, the municipality shall record a document with the Recorder's Office for Davis County declaring that the final plat for the subdivision is no longer valid and that further subdivision activity is prohibited.</p>
<p><b>Issues &amp; Concerns</b></p>	<p>Graffiti on the rail trail seems to be getting worse.</p>
<p><b>ADJOURNMENT</b></p>	<p><b>Commissioner Coombs moved to adjourn. Commissioner Buckles seconded the motion. Commissioners Coombs, Ritchie, Hale, Cressall and Briggs voted in favor of the motion, the meeting adjourned at 9:31 p.m.</b></p>

# CLINTON CITY PLANNING COMMISSION AGENDA ITEM

<b>SUBJECT:</b> <b>7:05 p.m.</b> - Review and action upon a request from Daniel Thurgood, Verizon Wireless, for a Site Plan Review to install a ten (10) antenna on the rooftop of Walmart, along with equipment area next to the building to operate the antenna located on the north side at 1632 North 2000 West, Clinton.	<b>AGENDA ITEM:</b>  <span style="font-size: 2em;">1</span>		
<b>PETITIONER:</b> Daniel Thurgood, representing Verizon Wireless	<b>MEETING DATE:</b> September 20, 2016		
<b>ORDINANCE REFERENCES:</b>	<b>ROLL CALL VOTE:</b> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; text-align: center;"><b>X YES</b></td> <td style="width: 50%; text-align: center;"><b>NO</b></td> </tr> </table>	<b>X YES</b>	<b>NO</b>
<b>X YES</b>	<b>NO</b>		
<b>BACKGROUND:</b> <p>Verizon Wireless plans to lease two 49 square foot areas at the Clinton Walmart Store. The first 49 square foot area will be located on Walmart's rooftop to place a ten (10) foot tall antenna (see elevation picture provided by Verizon). Additionally, Verizon will lease another 49 square foot area behind the plant nursery area across from the auto maintenance shop on the north side of Walmart. The area on the ground will be fenced and contain the equipment that will be used to operate this antenna. Both 49 square foot areas are relatively low key as the antenna is on the rooftop, while the fenced area is behind the plant nursery across from the auto maintenance shop.</p> <p>Verizon provided photosimulation pictures showing how these proposed areas will be seen from the side parking lot by the public. Walmart has reviewed these plans and given their approval as they are shown on these drawings. Staff also supports these improvements as something the landlord/owner feels is necessary to offer its customers. Further, these two locations are relatively inconspicuous and there appears to be adequate safety measures taken that will protect this equipment, while keeping the general public safe. For these reasons, staff recommends approval of these two sites for the shown improvements at the Clinton Walmart Store.</p>			
<b>ALTERNATIVE ACTIONS:</b>			
<b>ATTACHMENTS:</b> Application and pictures of these proposed areas			

Respectfully Submitted, Will Wright, Community Development Director

# verizonwireless

SAL WALMART CLINTON  
 1632 N 2000 W  
 CLINTON, UT 84015  
 DAVIS COUNTY

SMALL CELL INSTALLATION PROJECT

DESIGNED FOR:  
**verizonwireless**  
 9555 SOUTH PROSPERITY ROAD  
 WEST JORDAN, UTAH 84081

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DESIGNED BY: \_\_\_\_\_  
 AZ - CA - CO - ID - NM - NV - TX - UT  
 PRELIMINARY - NOT FOR CONSTRUCTION  
 DATE: 7/1/16  
 JGP  
 JDM

REV	DESCRIPTION
A	PRELIMINARY - NOT FOR CONSTRUCTION
PROJECT NAME: SAL WALMART CLINTON	
PROJECT ADDRESS: 1632 N 2000 W CLINTON, UT 84015 DAVIS COUNTY	
SHEET TITLE: TITLE SHEET	
SAVE DATE:	7/1/2016 5:03 PM
SHEET NUMBER:	T1

SHEET	TITLE	REV.
T1	TITLE SHEET	A
PS1	SPECIFICATION SHEET	A
SU1	PHOTO SHEET	A
1A	SITE SURVEY	B
1A	TA CERTIFICATION LETTER	B
C1	SITE PLAN	A
C2	ENLARGED SITE PLAN	A
C3	ELEVATIONS	A
C4	SECTIONS & DETAILS	A
C5	SECTIONS & DETAILS	A
C6	RF COMPLIANCE	A
S1	ANTENNA SECTOR MOUNT	A
UC1	UTILITY COORDINATION SITE PLAN	A
E1	GENERAL NOTES	A
E2	SINGLE-LINE DIAGRAM	A
E3	ELECTRICAL SITE PLAN	A
G1	GROUNDING SITE PLAN	A
G2	GROUNDING DETAILS	A
G3	GROUNDING DETAILS	A

**PROJECT INDEX:**

APPLICANT: VERIZON WIRELESS  
 9555 SOUTH PROSPERITY ROAD  
 WEST JORDAN, UT 84081

CONTACT: SHANE TANNER  
 PHONE: 801-573-0045

ENGINEERS/DESIGNERS:  
 TOWERCOM TECHNOLOGIES, LLC  
 2875 S. DECKER LAKE DR., SUITE 165  
 WEST VALLEY CITY, UT 84119

CONTACT: JOSH WALBERG  
 PHONE: 801-336-4684 EXT. 170

SURVEYOR: PROFESSIONAL LAND SURVEYING  
 295 NORTH 200 EAST  
 MONA, UTAH 84045

CONTACT: CORY SQUIRE, PLS  
 PHONE: 435-560-3516

SITE/LOG: TECHNOLOGY ASSOCIATES  
 5710 GREEN STREET  
 SALT LAKE CITY, UT 84123

CONTACT: DANIEL THURGOOD  
 PHONE: 801-463-1020

**GENERAL PROJECT NOTES:**

- PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSelf WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE NEW PROJECT.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL FIELD MODIFICATIONS BEFORE, DURING, OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITING BY A VERIZON WIRELESS REPRESENTATIVE.
- MANUFACTURER'S EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, AND NOTIFY VERIZON WIRELESS OF ANY DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND ADJUSTING THE BID ACCORDINGLY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND MAINTAINING THE CONSTRUCTION TO THE SATISFACTION OF A VERIZON WIRELESS REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR RED-LINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS BUILT LOCATION OF THE SITE, THE FOLLOWING THE FINAL INSPECTION OF THE SITE. THE CONTRACTOR SHALL PROVIDE VERIZON WIRELESS WITH ONE COPY OF ALL RED-LINED DRAWINGS.
- VERIFY ALL FINAL EQUIPMENT WITH A VERIZON WIRELESS REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, TECHNICAL DRAWINGS, AND THEIR FINAL LOCATION ARE TO BE APPROVED BY VERIZON WIRELESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH THE WORK AND CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS.

**PROJECT INFORMATION:**

PROPERTY OWNER: WAL-MART REAL ESTATE BUSINESS TRUST  
 MAIL STOP 0055  
 BENTONVILLE, AR 72716-8050

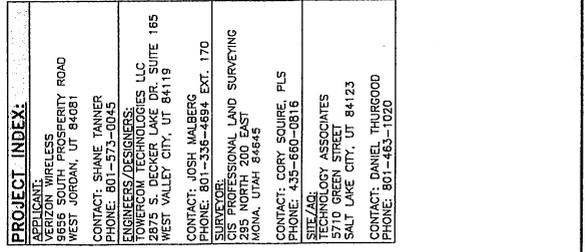
JURISDICTION: DAVIS COUNTY  
 PLANNING AND ZONING DEPARTMENT  
 200 WEST FARMINGTON, UT 84025  
 PHONE: 801-451-3279

PUBLIC RECORD PARCEL NO.: 1143520006

**DRIVING DIRECTIONS:**  
 LATITUDE: 41.0814, 83457' N  
 LONGITUDE: 112.0338, 13755' W  
 FROM THE VERIZON WIRELESS OFFICE LOCATED ON 9555 SOUTH PROSPERITY ROAD 194 FT. TURN LEFT ONTO PROSPERITY RD. 0.8 MI. TURN RIGHT AT THE 3RD CROSS STREET ONTO UT-48 E 0.8 MI. CONTINUE STRAIGHT ONTO W 9000 S. 2.5 MI. USE THE LEFT 2 LANES TO TURN LEFT ONTO UT-154/2900 W 5.6 MI. TURN RIGHT ONTO 4700 S ONTO W 1600 W. MERGE ONTO UT-215 N. 13.5 MI. MERGE ONTO N-15 N. FOLLOW SIGNS FOR INTERSTATE 15 N/OODEN 11.6 MI. USE THE 2ND. FROM THE RIGHT LANE TO TAKE EXIT 335 FOR 650 N/UT-103 0.3 MI. TURN LEFT ONTO UT-103 W/E 650 N/MAIN STREET 1.2 MI. DESTINATION WILL BE ON THE LEFT.

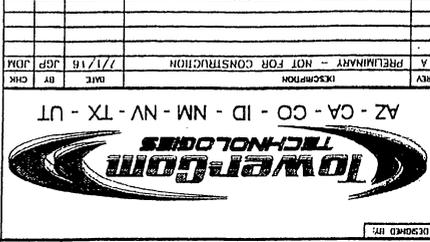
**PROJECT DESCRIPTION:**

THIS PROJECT CONSISTS OF THE FOLLOWING:  
 • ONE (1) NEW ON-AIR ANTENNA  
 • ONE (1) NEW OUTDOOR EQUIPMENT CABINET  
 • ONE (1) NEW RFR UNIT  
 • ONE (1) NEW HYBRID CABLE  
 • ONE (1) NEW MOVP UNIT



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REV	DATE	BY	CHK
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REVISIONS  
NOT FOR CONSTRUCTION

PROJECT NAME: SAL WALMART CLINTON  
PROJECT ADDRESS: 1632 N 2000 W CLINTON, UT 84015 DAVIS COUNTY  
SHEET TITLE: SPECIFICATION SHEET  
SAVE DATE: 7/1/2016 5:03 PM  
SHEET NUMBER: SP1

**GENERAL PROJECT NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON RESPONSIBILITY.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO ORDERING ANY MATERIALS OR CONDUCTING ANY WORK.
- EXCESS SOIL MATERIAL AND DEBRIS CAUSED BY THIS CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- CONTRACTOR SHALL MAINTAIN PROTECTIVE ELEVATIONS AS NECESSARY TO ENSURE A SITE FREE OF DRAINAGE PROBLEMS.
- CONTRACTOR SHALL COORDINATE A CONSTRUCTION LAYOUT AREA WITH THE PROPERTY OWNER. CONSTRUCTION LAYOUT AREA SHALL BE FENCED-IN WITH TEMPORARY (45 DAY) CONSTRUCTION FENCE. THE TEMPORARY FENCE SHALL BE CONSTRUCTED OF 6" CHAIN LINK FABRIC AND IS TO BE REMOVED AT THE END OF CONSTRUCTION. REMOVAL AREA IS TO BE RESTORED TO ITS ORIGINAL CONDITION AFTER FENCE REMOVAL.
- SURVEY INFORMATION SHOWN WAS OBTAINED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A LEGAL BOUNDARY SURVEY.
- THESE PLANS DO NOT ADDRESS THE SAFETY AND STABILITY OF THE STRUCTURE DURING ASSEMBLY AND ERECTION, WHICH ARE THE RESPONSIBILITY OF THE ERECTOR, BASED ON THE DESIGN AND CONSTRUCTION CHOSEN BY THE ERECTOR.
- NEW EQUIPMENT COMPONENTS TO BE COVERED W/ 4" CRUSHED ROCK INSTALLED OVER CLIENT-APPROVED WEED BARRIER MATERIAL (IF APPLICABLE).

**GENERAL CONTRACTOR NOTES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE PROJECT SCOPE OF WORK DEFINED UNDER THE REQUEST FOR PROPOSAL (RFP) FOR THIS PROJECT AND ALL ASSOCIATED ATTACHMENTS AND DOCUMENTS PROVIDED.
- ALL ASSOCIATED DOCUMENTS SHALL DEFINE THE COMPLETE PROJECT SCOPE OF WORK AND IS SOLELY RESPONSIBLE FOR COMPLIANCE WITH ALL DOCUMENTS INCLUDED WITHIN THE PROJECT REQUEST FOR PROPOSAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK (EQUIPMENT, MATERIAL, INSTALLATION, TESTING, ETC.) INDICATED IN ALL DOCUMENTS. THE RFP, VERIZON WIRELESS NETWORK STANDARDS AND SPECIFICATIONS, AND DRAWING NUMBER TO EACH OTHER, SHALL BE THE BASIS FOR THE CONTRACTOR'S WORK. THE CONTRACTOR SHALL NOT INTEND TO IMPLY SEGREGATION OF SUB CONTRACTOR WORK. THE CONTRACTOR SHALL CHOOSE ALL SUB CONTRACTOR WORK AND VERIZON WIRELESS WILL NOT ACCEPT ANY SUB CONTRACTOR. ALL INTERNAL CONTRACTOR WORK ASSIGNMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ALL RFP DOCUMENTS TO THEIR SUB CONTRACTORS. ALL RFP DOCUMENTS AND CONTRACT DOCUMENT PACKAGES ARE HIGHLY DISCLOSED.
- IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, REFERENCED STANDARDS, VERIZON WIRELESS STANDARDS, OR AGREEMENT TERMS AND CONDITIONS BETWEEN CONTRACTOR/ENGINEER SHALL BE CONTACTED FOR FORMAL INTERPRETATION OF THE REQUIREMENTS. CONTRACTOR/ENGINEER SHALL BE DEEMED TO HAVE PROVIDED THE DETAILED AND EXTENSIVE INTERPRETATION. ANY WORK TO BE CONDUCTED WITH THE DETAILED ARCHITECT/ENGINEER INTERPRETATIONS SHALL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO VERIZON WIRELESS.
- ALL ANTENNAS MUST BE PIM TESTED WITHIN 48 HOURS OF THEM BEING RECEIVED BY THE INSTALLATION CONTRACTOR. THOSE RESULTS MUST BE SENT BACK TO THE VERIZON WIRELESS ENGINEER WITHIN THE SAME 48 HOURS. IF YOU MISS THE 48-HOUR TIME LINE, YOU WILL BE CHARGED FOR THE COST OF RE-INSTALLATION. YOUR COMPANY WILL BE CHARGED FOR THE COST OF THE ANTENNAS FOR REPLACEMENT.
- ALL WORK SHALL BE SECURED PROPERLY TO THE VEHICLE OR TRAILER. VERIZON WIRELESS WILL BE RESPONSIBLE FOR MOST OF ANY REPLACEMENTS DUE TO DAMAGE OR LOSS WHETHER IT IS NEW OR USED.

**STRUCTURAL DESIGN CRITERIA:**

INTERNATIONAL BUILDING CODE 2012, ASCE 7-10, "MINIMUM DESIGN LOADS FOR BUILDINGS," AND TA-222-G "STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."

**BUILDING STRUCTURES:**

WIND LOADS: IBC 2012 §1609 & ASCE 7-10 §28.5 (SIMPLIFIED METHOD)  
V<sub>w</sub> = 115 MPH  
OCCUPANCY CAT. = II; EXPOSURE CAT. = C; IMPORTANCE FACTOR = 1.0  
SEISMIC LOADS: IBC 2012 §1613 & ASCE 7-10 §12.14 (SIMPLIFIED METHOD)  
OCCUPANCY CAT. = II; SITE CLASS = D  
V = 150 MPH

F = 1.0 (SINGLE-STORY), 1.1 (TWO STORY), 1.2 (THREE STORY)  
S<sub>ms</sub> = (2/3) S<sub>s</sub>  
R = 1.5 (ORDINARY PLAIN CONCRETE SHEARWALLS),  
6.0 (LIGHT-FRAMED WALLS W/ WOOD STRUCTURAL PANELS),  
4.0 (ORDINARY REINFORCED CONCRETE SHEARWALLS)

**COMMUNICATIONS STRUCTURES:**

WIND LOADS: IBC 2012 §1609, ASCE 7-10 §28.5 & ANSI TA-222-G  
V = 80 MPH (3-SEC. GUST)  
V<sub>w</sub> = 40 MPH (3-SEC. GUST)  
WIND EXPOSURE CLASS. = II; EXPOSURE CAT. = C; IMPORTANCE FACTOR = 1.0  
SEISMIC LOADS: IBC 2012 §1613, ASCE 7-10 §12.14, AND/OR EARTHQUAKE SPECTRAL RESPONSE FOR SHORT PERIOD (S<sub>s</sub>) ≤ 1.0; SITE CLASS = D; IMPORTANCE FACTOR = 1.0  
V = 58 MPH (EQUIVALENT LATERAL FORCE PROCEDURE (METHOD 1))  
V = 25 MPH (EQUIVALENT MODAL ANALYSIS PROCEDURE (METHOD 2))

**STEEL NOTES:**

- ALL STEEL SHALL BE GALVANIZED PER ASTM A123 & CONFORM TO THE FOLLOWING MINIMUM SPECS:  
ASTM A500, GR. B (48 KS)  
ASTM A502, (42 KS)  
HSS SHAPES (ROUND)  
W-SHAPES (ROUND)  
CHANNELS, ANGLES & PLATES  
ASTM A36
- ALL BOLTS SHALL BE GALVANIZED PER ASTM A153 & CONFORM TO ASTM A325 NUTS AND LOCKWASHERS SHALL BE EQUIPPED WITH AN APPROVED NUT-LOCKING DEVICE.
- ALL WELDING WORK SHALL CONFORM TO THE AWS D1.1 STRUCTURAL WELDING CODE. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS ONLY. WELDING ELECTRODES SHALL BE E70XX.
- ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO AISC SPECS AND CODES, LATEST EDITION.
- IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, REFERENCED STANDARDS, VERIZON WIRELESS STANDARDS, OR AGREEMENT TERMS AND CONDITIONS BETWEEN CONTRACTOR/ENGINEER SHALL BE CONTACTED FOR FORMAL INTERPRETATION OF THE REQUIREMENTS. CONTRACTOR/ENGINEER SHALL BE DEEMED TO HAVE PROVIDED THE DETAILED AND EXTENSIVE INTERPRETATION. ANY WORK TO BE CONDUCTED WITH THE DETAILED ARCHITECT/ENGINEER INTERPRETATIONS SHALL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO VERIZON WIRELESS.
- ALL ANTENNAS MUST BE PIM TESTED WITHIN 48 HOURS OF THEM BEING RECEIVED BY THE INSTALLATION CONTRACTOR. THOSE RESULTS MUST BE SENT BACK TO THE VERIZON WIRELESS ENGINEER WITHIN THE SAME 48 HOURS. IF YOU MISS THE 48-HOUR TIME LINE, YOU WILL BE CHARGED FOR THE COST OF RE-INSTALLATION. YOUR COMPANY WILL BE CHARGED FOR THE COST OF THE ANTENNAS FOR REPLACEMENT.
- ALL WORK SHALL BE SECURED PROPERLY TO THE VEHICLE OR TRAILER. VERIZON WIRELESS WILL BE RESPONSIBLE FOR MOST OF ANY REPLACEMENTS DUE TO DAMAGE OR LOSS WHETHER IT IS NEW OR USED.

**ANTENNA, MOUNTS & HARDWARE INSTALLATION NOTES:**

- CONTRACTOR TO INSTALL ANTENNAS, MOUNTS AND TOWER HARDWARE PER MANUFACTURER'S RECOMMENDATIONS (OR AS REQUIRED BY THE OWNER/ENGINEER).
- ALL BOLTS SHALL BE TIGHTENED PER AISC REQUIREMENTS (SEE SHEET/FINISH).
- ANY GALVANIZED SURFACES THAT ARE DAMAGED BY ABRASIONS, CUTS, DRILLING OR FIELD WELDING DURING SHIPPING OR ERECTION SHALL BE TOUCHED-UP WITH TWO COATS OF ZINC-RICH PRIMER AND PAINT TO MEET THE REQUIREMENTS OF ASTM A780. ALL WELDING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM A780. ALWAYS USE THE BEST AVAILABLE CHAMBERING DEVICE. WORKERS SHALL ALWAYS WEAR PROTECTIVE GEAR AND SAFETY EQUIPMENT.
- SEE ALSO GENERAL ANTENNA NOTES ON SHEET REF. (IF APPLICABLE).

**EXCAVATION NOTES:**

- PRIOR TO EXCAVATION, THE AREA SHALL BE CHECKED FOR ALL UNDERGROUND FACILITIES.
- ALL MATERIAL AND DEBRIS CAUSED BY CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- CONTRACTOR SHALL DETERMINE THE MEANS AND METHODS TO SUPPORT THE EXCAVATION DURING CONSTRUCTION AND SHALL REFER TO THE GEOTECHNICAL INVESTIGATION REPORT (IF AVAILABLE) FOR RECOMMENDATIONS.
- ALL SOIL COMPACTATION SHALL BE A MINIMUM OF 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557. CONTRACTOR TO COMPACT ALL SOIL INTENDED TO SUPPORT FOUNDATIONS AND FOOTINGS. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL INVESTIGATION REPORT (IF AVAILABLE) FOR RECOMMENDATIONS AND/OR MORE STRINGENT REQUIREMENTS.
- FOUNDATIONS SHALL BE PLACED ON FIRM UNDISTURBED NATURAL MATERIAL. LOCAL AREAS OF SOFT AND/OR UNACCEPTABLE MATERIAL ENHANCING THE STRENGTH OF FOUNDATIONS MUST BE OVER-EXCAVATED AND BROUGHT UP TO DESIGN GRADE WITH COMPACTED "STRUCTURAL FILL". CONTRACTOR SHALL REFER TO THE GEOTECHNICAL INVESTIGATION REPORT (IF AVAILABLE) FOR RECOMMENDATIONS.

**CONCRETE NOTES:**

- ALL CONCRETE SHALL BE IN ACCORDANCE WITH CHAPTER 19 OF THE IBC & ACI 318. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, LATEST EDITION & HAVE THE FOLLOWING PROPERTIES:  
A. MINIMUM 28-DAY COMPRESSIVE STRENGTH (f'<sub>c</sub>) OF 4,000 PSI.  
B. CEMENT SHALL BE LOW-ALKALI TYPE III (MODERATE SULFATE RESISTANCE, AIR ENTRAINMENT, AND MAXIMUM WATER/CEMENT RATIO OF 0.45).  
C. MAXIMUM WATER/CEMENT RATIO OF 0.45.  
D. CONCRETE PROPORTIONING SHALL BE DESIGNED BY AN APPROVED LABORATORY. TOLERANCES IN ACCORDANCE WITH ACI 117. COPIES OF CONCRETE MIX SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO PLACEMENT.  
E. ALL SUBSTITUTES OR OTHER ENGINEERS FOR REVIEW PRIOR TO PLACEMENT. ALL AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE. MAXIMUM AGGREGATE SIZE TO BE 1/2".  
F. MAXIMUM SLUMP: 3" (FOUNDATION, FOOTING, SLAB), 4" (WALL, COLUMN, BEAM)
- FORMWORK FOR CONCRETE SHALL CONFORM TO ACI 347. TOLERANCES FOR FINISHED CONCRETE SURFACES SHALL MEET CLASS-C REQUIREMENTS. IN NO CASE SHALL FINISHED CONCRETE SURFACES EXCEED THE FOLLOWING VALUES AS MEASURED FROM NEAT PLAN LINES AND FINISHED GRADES: ± 3" VERTICAL, ± 1" HORIZONTAL.
- CHAMFER ALL EXPOSED CORNERS AND FILLET ENTRANT ANGLES 3/4" UNO.
- CONCRETE FINISHING: FLOOR SLABS SHALL BE FINISHED IN ACCORDANCE WITH ACI 302.1 CHAPTER 8. EXTERIOR CLASS 4 FINISH UNO. PROVIDE NON-SLIP FINISH FOR EXTERIOR SURFACES. CONCRETE SURFACES SHALL BE FINISHED IN ACCORDANCE WITH OTHER SURFACES. CONCRETE SURFACES SHALL BE PROVIDED WITH ALL SURFACES NOT EXPOSED TO WEAR AND TORNAGE SHALL BE PROVIDED WITH A MINIMUM OF ONE (1) SET OF CONCRETE CYLINDERS SHALL BE PROVIDED BY SPECIAL INSPECTIONS ON SHEET (N1). EACH SET SHALL CONSIST OF THREE (3) CYLINDERS. ONE (1) SHALL BE TESTED AT 7 DAYS, TWO (2) SHALL BE TESTED AT 28 DAYS. ALL CYLINDERS SHALL BE TAKEN, PREPARED AND TESTED BY A TESTING LAB IN ACCORDANCE WITH ASTM C172, C31 AND C39.

**CONCRETE NOTES:**

- ALL CONCRETE SHALL BE IN ACCORDANCE WITH CHAPTER 19 OF THE IBC & ACI 318. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, LATEST EDITION & HAVE THE FOLLOWING PROPERTIES:  
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DESIGNED FOR:

**verizon wireless**

8656 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84081

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REV	DESCRIPTION	DATE	BY	CHKD
A	PRELIMINARY - NOT FOR CONSTRUCTION	7/1/16	JGP	JDM

AZ - CA - CO - ID - NM - NV - TX - UT

**TOWERCOM TECHNOLOGIES**

DESIGNED BY:

PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT NAME	SAL WALMART CLINTON
PROJECT ADDRESS	1632 N 2000 W CLINTON, UT 84015 DAVIS COUNTY
SHEET TITLE	PHOTO SHEET
DATE	7/1/2016 5:03 PM
SHEET NUMBER	PS1

**LEGEND OF SYMBOLS:**

REFERENCE LETTER OR NUMBER

**SECTION OR DETAIL**

SCALE

SHEET WHERE DRAWN

SHEET WHERE TAKEN

SECTION LETTER

SHEET WHERE DRAWN

SHEET WHERE TAKEN

DETAIL NUMBER

SHEET WHERE DRAWN

SHEET WHERE TAKEN

⊕ CENTERLINE

⊔ PENNY

EQUIPMENT OR FIXTURE NUMBER

KEYED NOTE

I.C. 1631.33

F.L. 1631.00

SPOT ELEVATION

TOP OF WALL

CONTROL OR DATUM POINT

1635.00

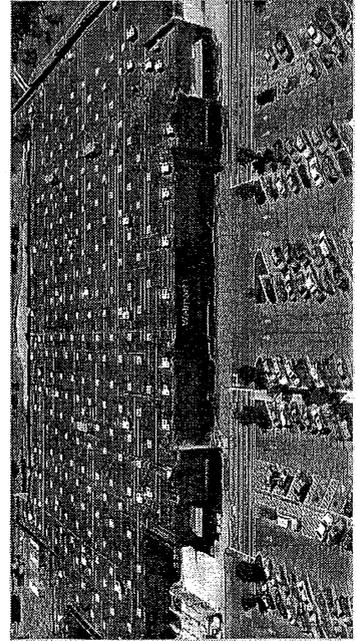
PROPERTY LINE

EXISTING CONTOUR

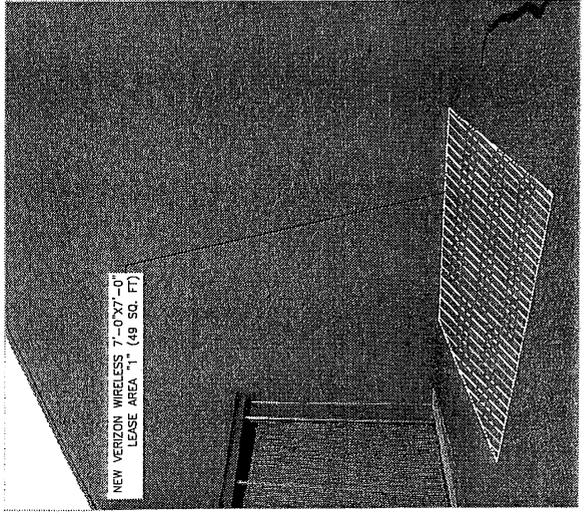
NEW CONTOUR

∅ ROUND/DIAMETER

~ APPROXIMATELY

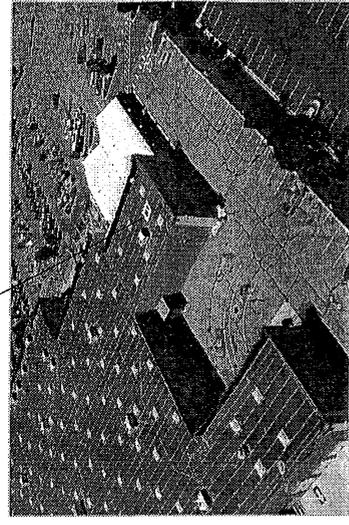


**VIEW OF EXISTING BUILDING**  
(LOOKING EAST)



**VIEW OF LEASE AREA "1"**  
(LOOKING SOUTHWEST)

NEW VERIZON WIRELESS  
7'-0"x7'-0" LEASE AREA "2" (49 SQ.FT.)



**VIEW OF LEASE AREA "2"**  
(LOOKING SOUTHWEST)



# 1A CERTIFICATION LETTER

**PREPARED FOR:**  
**verizonwireless**  
 VERIZON WIRELESS  
 854 S. Main Street  
 West Jordan, UT 84081

FOR  
 VERIZON WIRELESS  
 FACILITY KNOWN AS:  
 WLMRT CLINTON  
 DAVIS COUNTY, UTAH

**ELEVATION REPORT:**

NAVD88 - GROUND ELEVATION: 4389 ft  
 (ELEVATION METERS): 1331.674 m

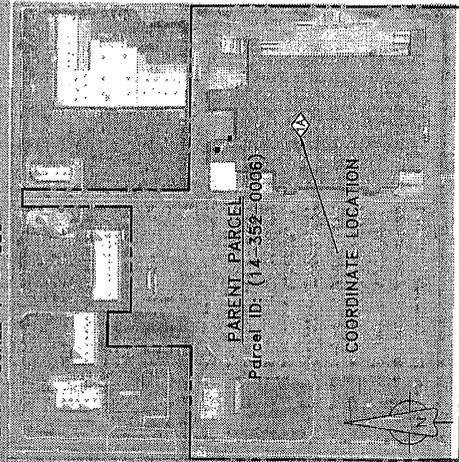
**LEGAL DESCRIPTION:**

889.28 feet S 00°31'20" W along  
 the section line and 985.75 feet  
 East of the West 1/4 Corner of  
 Section 27, Township 5 North,  
 Range 2 West, Salt Lake Base and  
 Meridian.

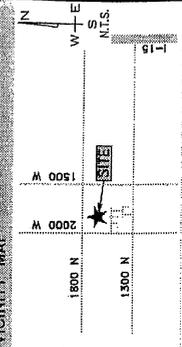
**SITE LOCATION:**

SITE IS LOCATED ON A WALMART AT:  
 1632 NORTH 2000 WEST  
 CLINTON CITY,  
 DAVIS COUNTY, UTAH.

PLAN VIEW: SCALE 1" = 350'



**VICINITY MAP:**



**BASIS OF GEODETIC COORDINATES:**

- (1) HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83) [PRIMARY] EXPRESSED IN DEGREES, MINUTES AND SECONDS AND CONVERSION TO THE 10,000TH OF A SECOND, AND ALSO EXPRESSED IN DEGREES AND DECIMAL DEGREES.
- (2) VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) EXPRESSED IN U.S. SURVEY FEET AND METERS (METER EQUIVALENT TO 39.37 INCHES).
- (3) NAD83 GEODETIC DATA SHOWN HEREON WAS DERIVED FROM AND IS TIED TO THE NATIONAL GEODETIC SURVEY, NATIONAL C.O.R.S. VIA THE O.P.U.S. UTILITY AND OR TRIMBLE GEOMATICS SOFTWARE.

**GEODETIC COORDINATES:**

NAD 83: 41°08'14.83457"N  
 112°03'39.13755"W  
 DECIMAL DEGREES: 41.137454048°N  
 112.060871542°W

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY THAT THE GEODETIC COORDINATES REPORTED HEREON ARE ACCURATE AND MEET FAA/FCC REPORTING REQUIREMENTS OF 1A: FIFTEEN FEET (15') HORIZONTALLY AND THREE FEET (3') VERTICALLY.

**DATE OF SURVY:**

05/26/16



PROFESSIONAL LAND SURVEYING  
 CORY L. SQUIRE  
 295 N. 200 E  
 MONA, UT 84645  
 (435)860-0816  
 CISPLS1@GMAIL.COM

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**PREPARED BY:**



ALBUQUERQUE / ST. LOUIS / EL PASO / LAS VEGAS / DENVER  
 NEW MEXICO / IDAHO / TEXAS / ARIZONA / COLORADO

**SITE ACCESS NOTES:**

1 SITE ACCESS GRANTED VIA LEASE AGREEMENT AND WILL BE VIA THE MOST REASONABLE, NON-EXCLUSIVE, AND NON-INTERFERING USE OF THE UNDERLYING PARCEL AND BUILDINGS.

**SITE NOTES:**

1 INFORMATION SHOWN BELOW FOR REFERENCE PURPOSES ONLY. ALL DATA CATERED FROM PUBLIC RECORDS AND GENERATED FROM AERIAL IMAGES AND SITE VISITS. INFORMATION DOES NOT CONSTITUTE A LEGAL BOUNDARY SURVEY AND SHOULD NOT BE USED FOR SURVEYING OR OTHER RELATED PURPOSES.

PARENT PARCEL  
 WAL-MART REAL ESTATE BUSINESS TRUST  
 APN#: 143520006  
 ZONED: COMMERCIAL/RESIDENTIAL

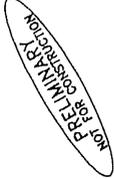
W 1800 N

N 1700 W

N 2000 W

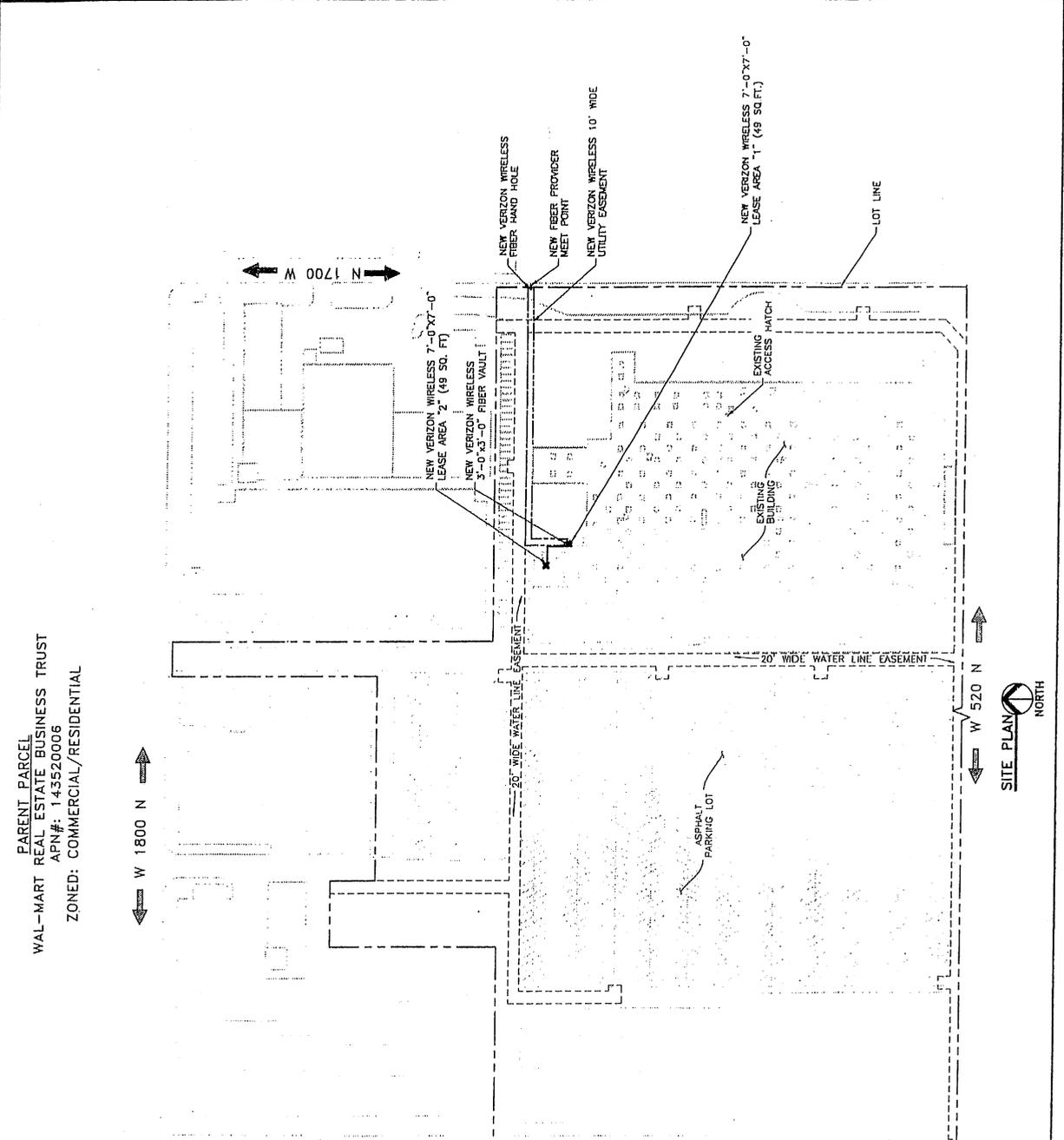
W 520 N

SITE PLAN  
 NORTH

		AZ - CA - CO - ID - NM - NV - TX - UT	
DATE	BY	CHK	
7/1/16	JSP	JDR	
DESCRIPTION			
1 PRELIMINARY - NOT FOR CONSTRUCTION			
DESIGNED BY:			
			
PROJECT NAME:		SAL WALMART CLINTON	
PROJECT ADDRESS:		1632 N 2000 W CLINTON, UT 84015 DAVIS COUNTY	
SHEET TITLE:		SITE PLAN	
SAVE DATE:	7/1/2016 5:03 PM		
SHEET NUMBER:	C1		

**verizon wireless**  
 9656 SOUTH PROSPERITY ROAD  
 WEST JORDAN, UTAH 84091

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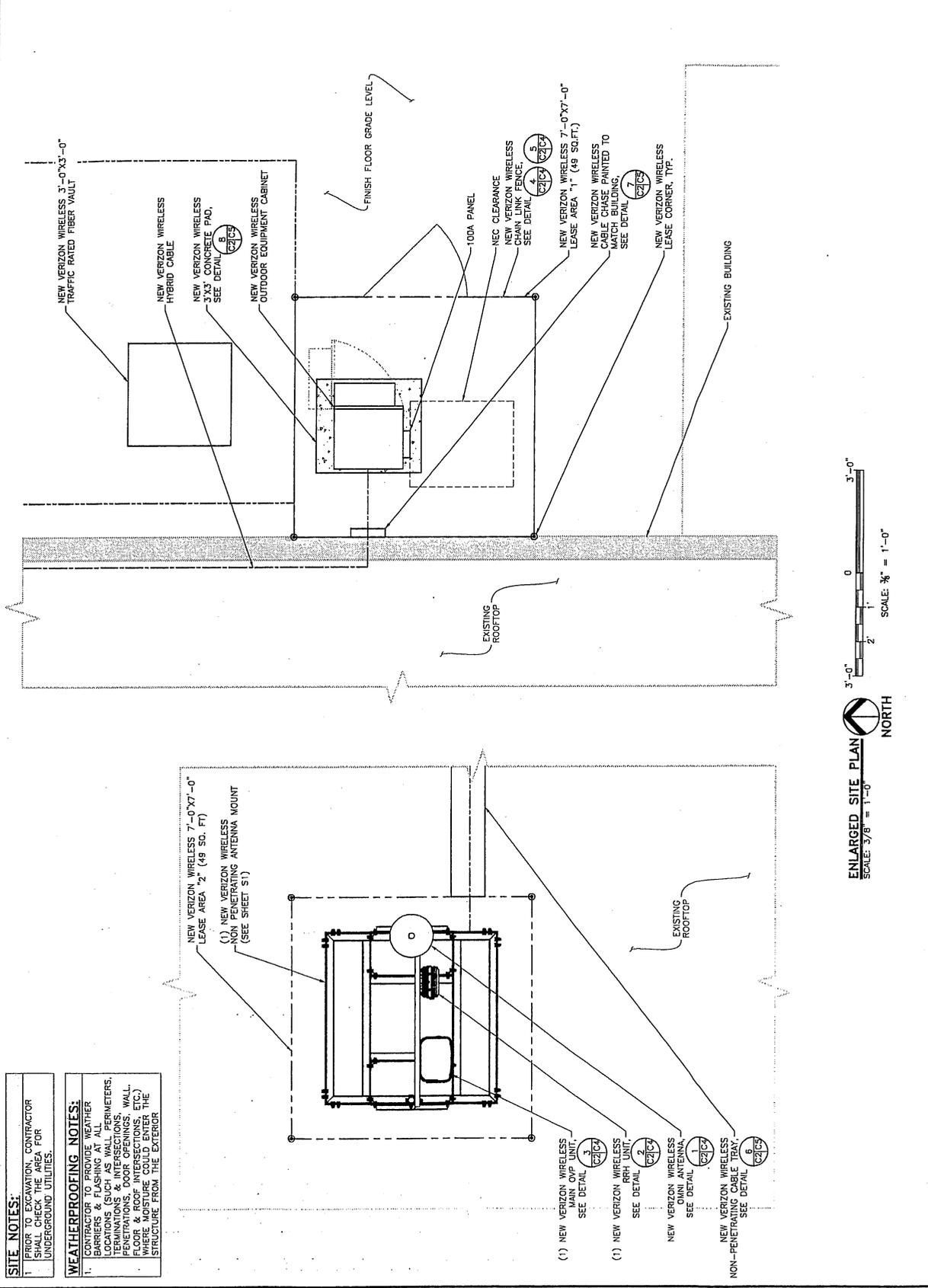
PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT NAME:  
**SAL WALMART CLINTON**  
**SMALL CELL INSTALLATION PROJECT**

PROJECT ADDRESS:  
 1652 N 2000 W  
 CLINTON, UT 84015  
 DAVIS COUNTY

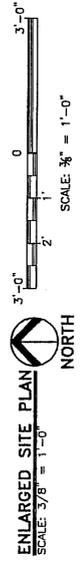
SHEET TITLE:  
**ENLARGED  
 SITE PLAN**

SHEET NUMBER:  
**C2**



**SITE NOTES:**  
 1. CONTRACTOR TO EXAMINE CONTRACTOR SHALL CHECK THE AREA FOR UNDERGROUND UTILITIES.

**WEATHERPROOFING NOTES:**  
 1. CONTRACTOR TO PROVIDE WEATHER BARRIERS & FLASHING AT ALL LOCATIONS (SUCH AS WALL PERIMETERS, TERMINATIONS & INTERSECTIONS, WALL PENETRATIONS, DOOR OPENINGS, WALL JOINTS, ETC.) TO PREVENT MOISTURE FROM ENTERING THE STRUCTURE FROM THE EXTERIOR



DESIGNED FOR:

**verizon**wireless

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WEST JORDAN, UTAH 84081

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NOT FOR CONSTRUCTION

PROJECT NAME:  
**SAL WALMART CLINTON**  
SMALL CELL INSTALLATION PROJECT

PROJECT ADDRESS:  
1632 N 2000 W  
CLINTON, UT 84015  
DAVIS COUNTY

SHEET TITLE:  
**ELEVATIONS**

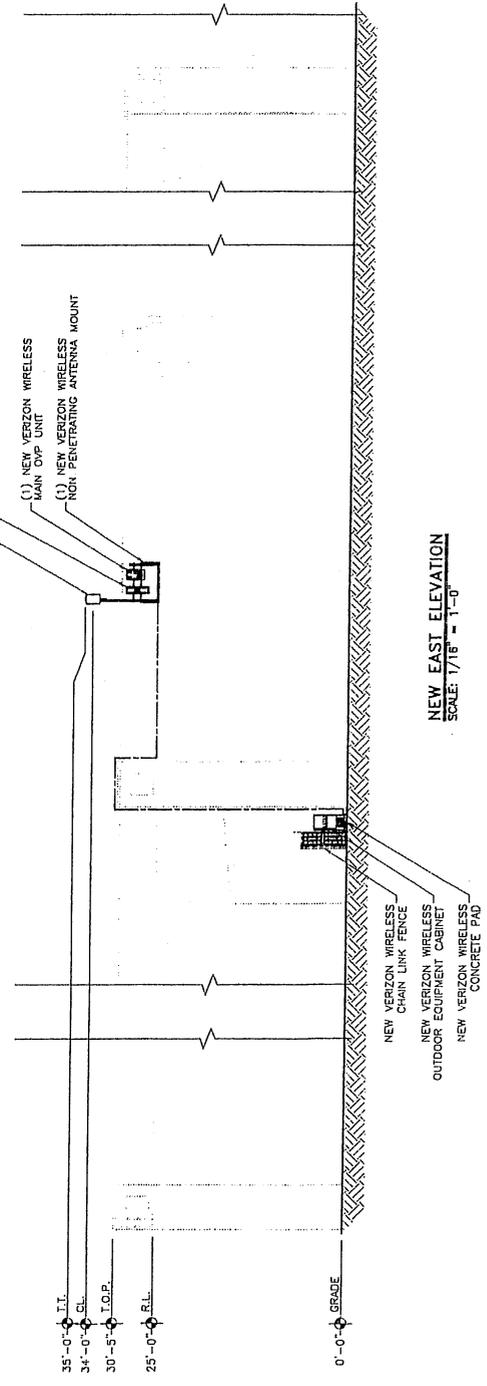
SCALE DATE:  
7/1/2016 5:03 PM

SHEET NUMBER:  
**C3**

**KEY:**

CL =	CENTERLINE
AL =	ATTACHMENT LEVEL
BL =	BOTTOM TIP LEVEL
TL =	TOP TIP LEVEL
ACL =	ABOVE GRADE LEVEL
TOS =	TOP OF STRUCTURE
T.O.P. =	TOP OF PARAPET
RL =	ROOF LINE

- (1) NEW VERIZON WIRELESS OMNI ANTENNA
- (1) NEW VERIZON WIRELESS RAN UNIT
- (1) NEW VERIZON WIRELESS MAIN OIP UNIT
- (1) NEW VERIZON WIRELESS NON PENETRATING ANTENNA MOUNT



**NEW EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

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**verizon wireless**

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REV: A

DESCRIPTION: SAL WALLMART CLINTON

PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT NAME:

SAL WALLMART CLINTON

PROJECT ADDRESS:

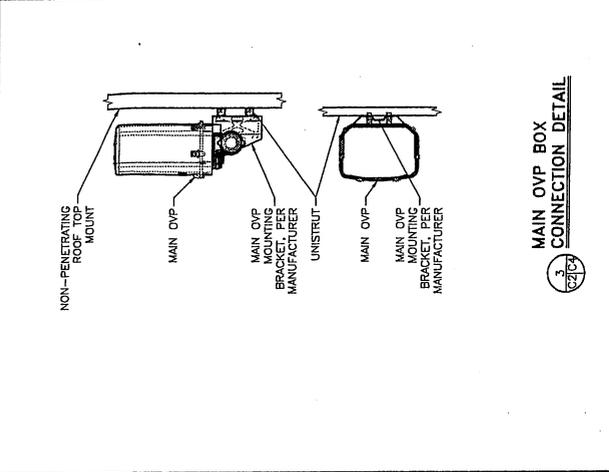
1632 N 2000 W  
CLINTON, UT 84015  
DAVIS COUNTY

SHEET TITLE:

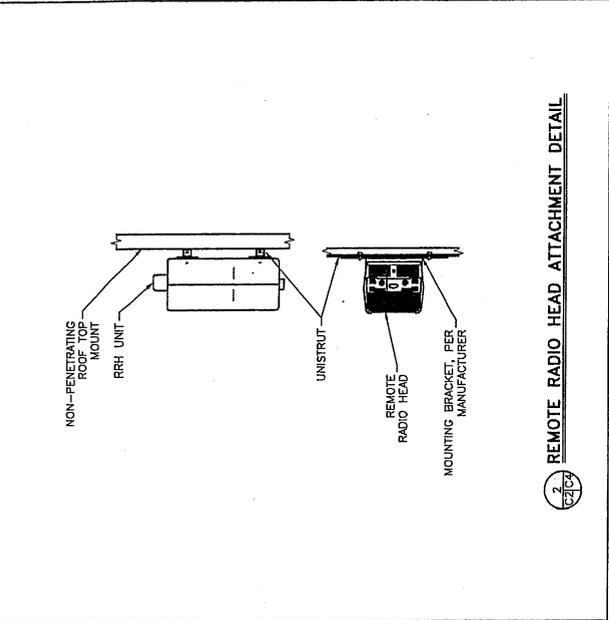
SECTIONS & DETAILS

DATE: 7/1/2016 5:03 PM

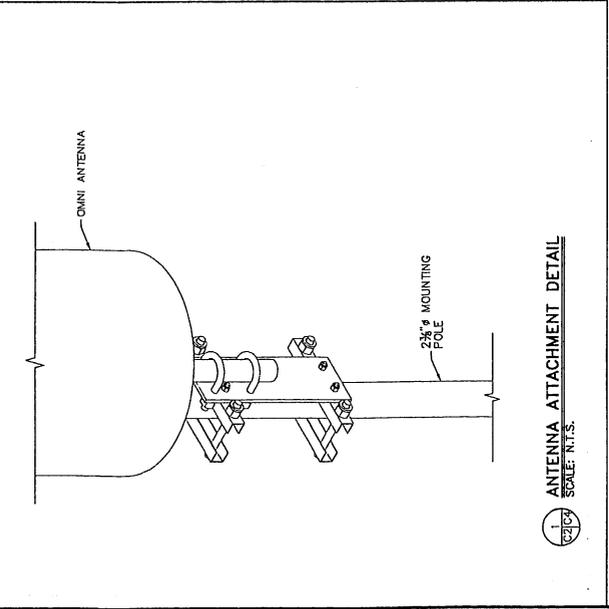
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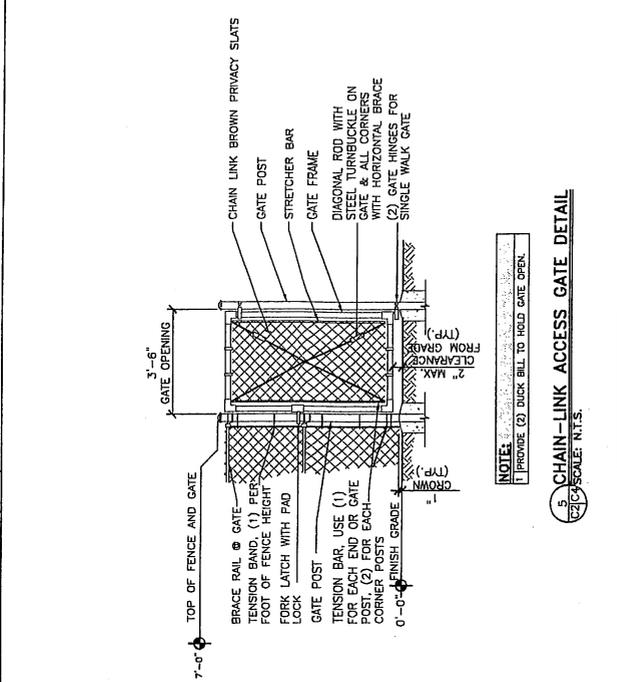
1 ANTENNA ATTACHMENT DETAIL  
SCALE: N.T.S.



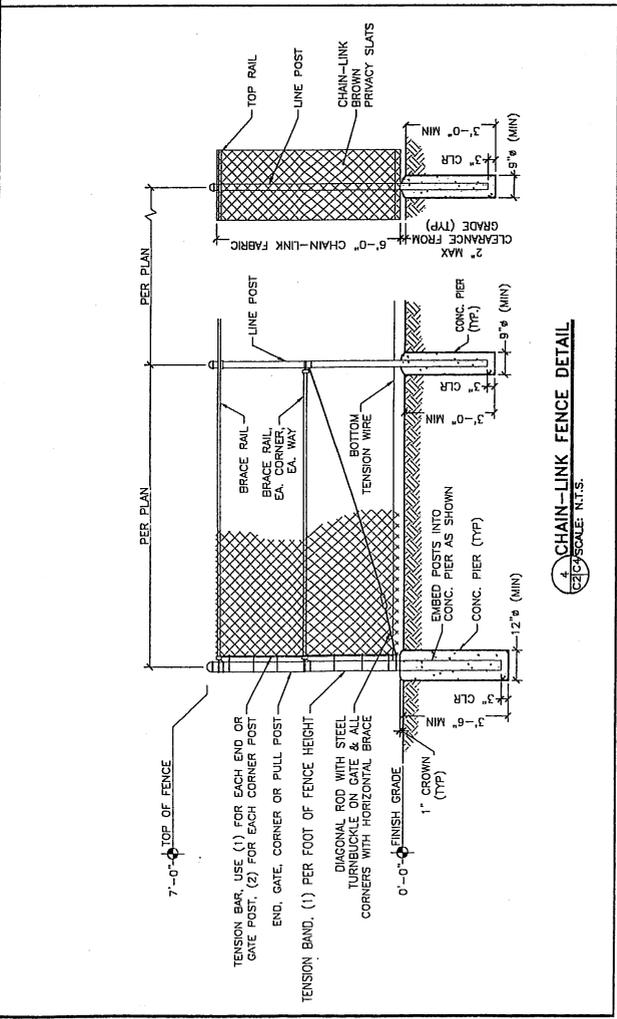
2 REMOTE RADIO HEAD ATTACHMENT DETAIL  
SCALE: N.T.S.



3 MAIN OVP BOX CONNECTION DETAIL  
SCALE: N.T.S.



4 CHAIN-LINK FENCE DETAIL  
SCALE: N.T.S.



5 CHAIN-LINK ACCESS GATE DETAIL  
SCALE: N.T.S.

DESIGNED FOR:

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9556 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84081

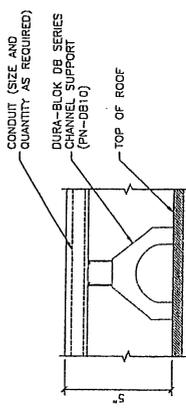
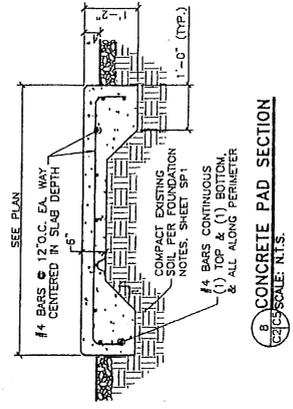
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DESCRIPTION			
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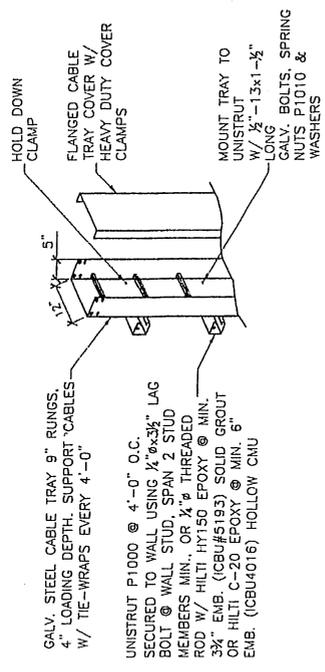


PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT NAME	SAL WALMART CLINTON SMALL CELL INSTALLATION PROJECT
PROJECT ADDRESS	1632 N 2000 W CLINTON, UT 84015 DAVIS COUNTY
SHEET TITLE	SECTIONS & DETAILS
DATE	7/1/2016 5:03 PM
SHEET NUMBER	C5



**SECTION B**  
CABLE TRAY DETAIL  
SCALE: N.T.S.



**SECTION B**  
VERTICAL COVERED CABLE TRAY DETAIL  
SCALE: N.T.S.

DESIGNED FOR:

**verizon**wireless

9556 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84081

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A	PRELIMINARY - NOT FOR CONSTRUCTION	7/1/16	JSP	JDM

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PROJECT NAME:  
**SAL WALMART CLINTON  
SMALL CELL INSTALLATION PROJECT**

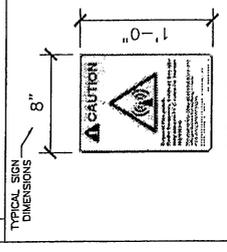
PROJECT ADDRESS:  
1632 N 2000 W  
CLINTON, UT 84015  
DAVIS COUNTY

SHEET TITLE:  
**RF COMPLIANCE**

DATE:  
7/1/2016 5:03 PM

SHEET NUMBER:  
**C6**

- SIGN SPECIFICATIONS:**
- ALL SIGNS SHOULD BE UV RESISTANT FOR OUTDOOR USE.
  - ALL SIGNS SHALL HAVE ROUNDED CORNERS.
  - SIGNAGE SHALL BE INSTALLED AS SHOWN ON PLAN.

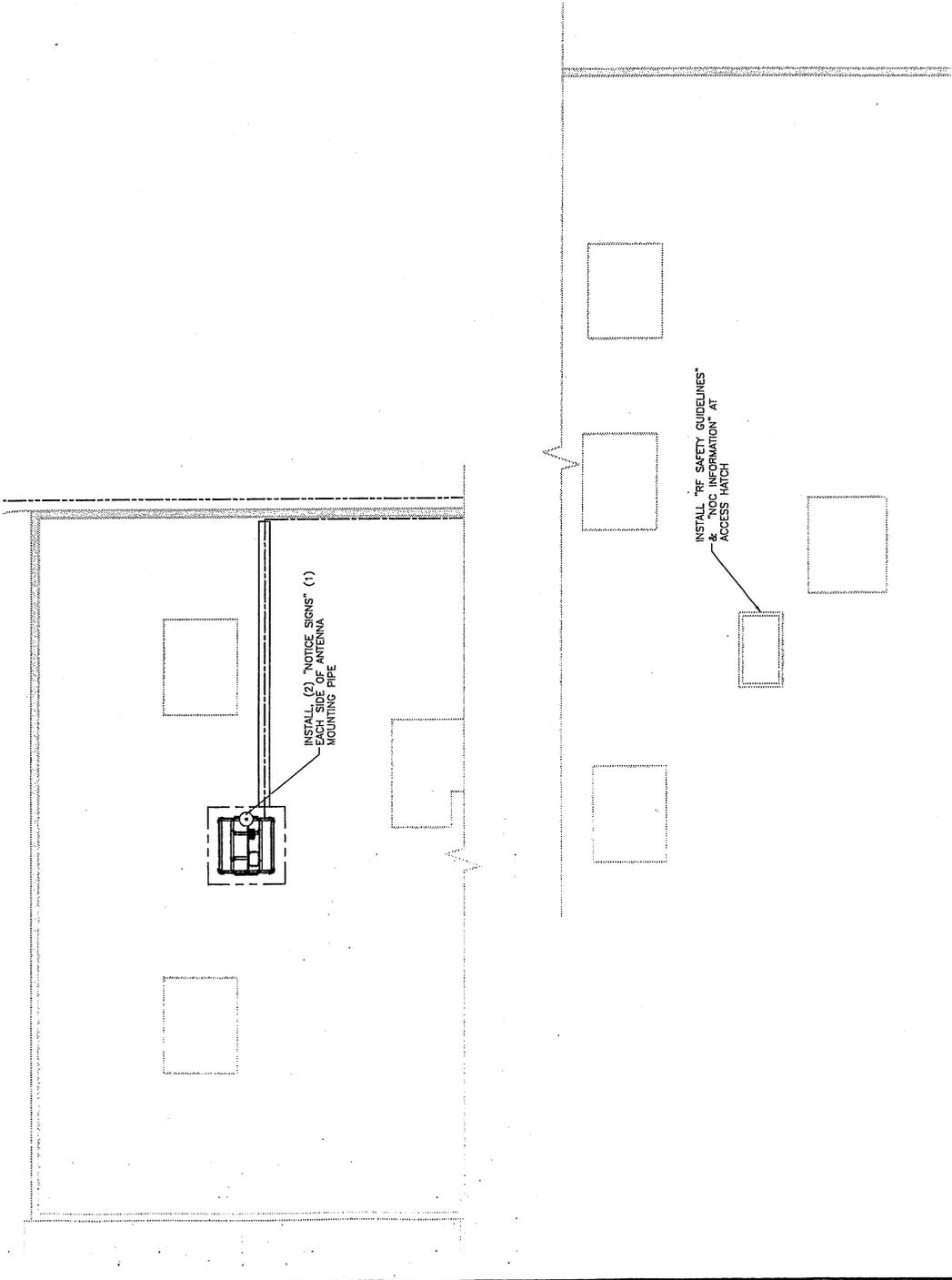


**CAUTION SIGN**

**NOTICE**

**RF SAFETY GUIDELINES SIGN**

NOC INFORMATION SIGN



**RF COMPLIANCE PLAN**  
SCALE: N.T.S.





DESIGNED FOR:  
**verizon wireless**  
 9656 SOUTH PROSPERITY ROAD  
 WEST JORDAN, UTAH 84081

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REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	06/30/16	SR	SBS

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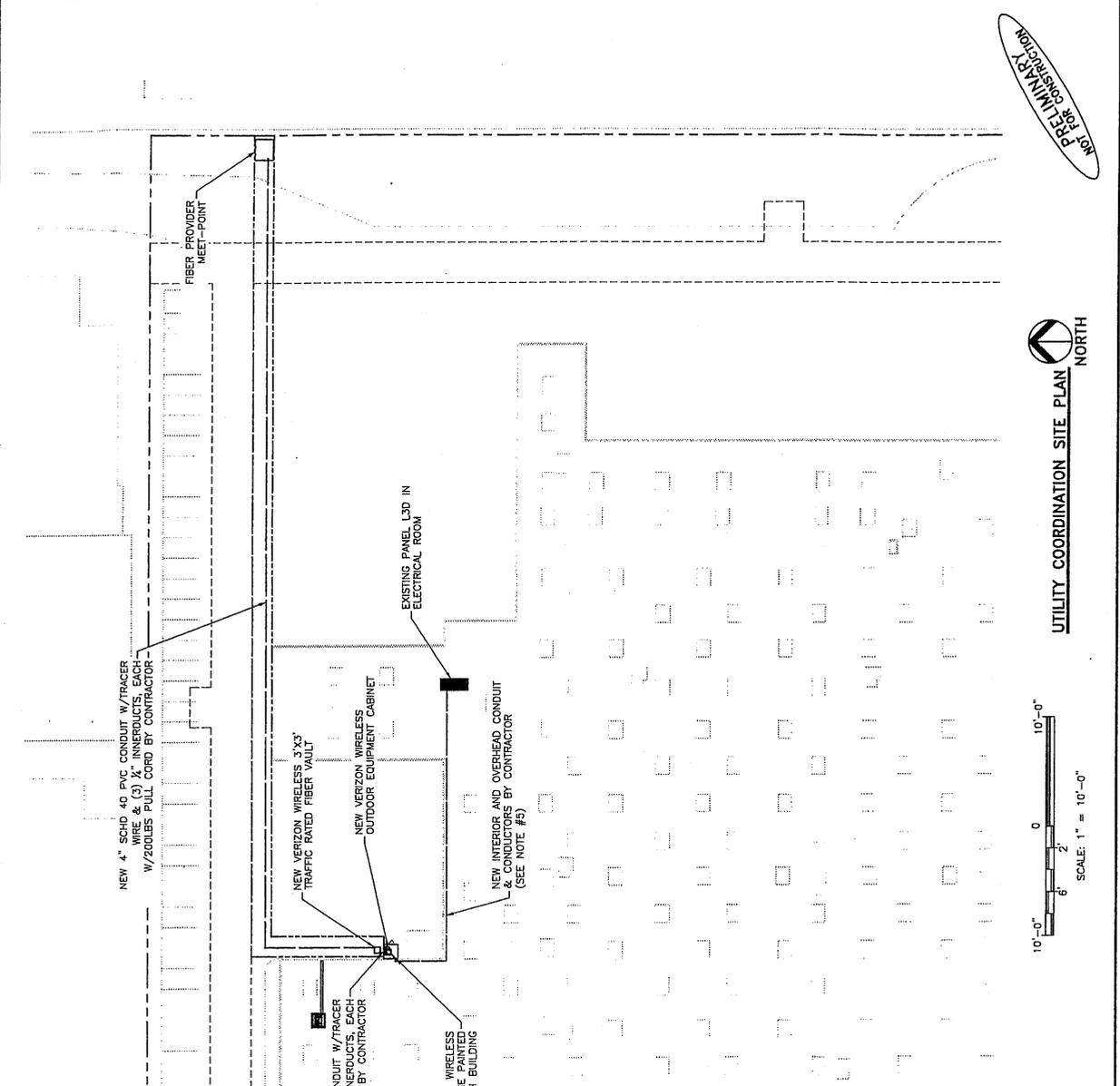
DESIGNED BY:

PROJECT NAME:  
**SAL WALMART CLINTON**  
 SMALL CELL INSTALLATION PROJECT

PROJECT ADDRESS:  
 1632 N 2000 W  
 CLINTON, UT 84015  
 DAVIS COUNTY

SHEET TITLE:  
 UTILITY COORDINATION  
 SITE PLAN

SHEET NUMBER:  
 UC1

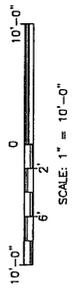


- NOTES:**
1. POWER COORDINATION INFORMATION DEPICTED ON THESE DRAWINGS IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL CONTACT UTILITY REPRESENTATIVE AND VERIFY THAT CONDITIONS HAVE NOT CHANGED.
  2. FIBER COORDINATION IS NOT YET COMPLETE AS OF 06-30-16. FIBER COORDINATION CANNOT BE COMPLETED UNTIL VERIZON WIRELESS PLACES CONDUIT AND TRACER WIRE IN THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE APPROVED ROUTE AND CONDUIT DESIGN. IS INFORMATION, INCLUDING THE APPROVED ROUTE AND CONDUIT DESIGN, IS PROVIDED BY OTHERS. WHEN FIBER COORDINATION IS COMPLETED, AT A FUTURE TIME, ACQUISITION OF NEW EASEMENTS MAY BE REQUIRED. WITH THESE DRAWINGS WILL BE ISSUED, AT THAT TIME, THE REQUIRED ACQUISITION OF NEW EASEMENTS SHORTLY BEFORE CONSTRUCTION HAS THE POTENTIAL TO HOLD UP CONSTRUCTION.
  3. ALL CONDUIT NOT SPECIFIED OTHERWISE SHALL BE SCHD. 40 PVC BELOW GRADE, INC ABOVE. EMT ACCEPTABLE IN AREAS THAT ARE ACCESSIBLE ONLY TO VERIZON WIRELESS-AUTHORIZED PERSONNEL.
  4. ALL CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE VERIZON WIRELESS PROCESS. A 30 DAY ON-SITE STUDY MAY STILL BE REQUIRED IN ORDER TO COMPLETE ELECTRICAL DESIGN.
  5. CONTRACTOR TO INSTALL POWER CONDUIT THROUGH INTERIOR OF WAREHOUSE FACILITY ATTACHED TO CEILING AND/OR WALLS AS APPROPRIATE AND ALONG ROUTE ACCEPTABLE TO STORE MANAGER.

**POWER CONTACT:**  
 HOUSE POWER  
 BRYCE BLACKBURN (STORE MANAGER)  
 801-779-3165

CONTACT SHALL BE NOTIFIED PRIOR TO START OF CONSTRUCTION.

**FIBER CONTACT:**  
 SEE NOTE 2



NORTH

UTILITY COORDINATION SITE PLAN

PRELIMINARY  
 NOT FOR CONSTRUCTION

**GENERAL ELECTRICAL NOTES:**

- CONTRACTOR SHALL COMPLY WITH UTILITY'S ELECTRICAL SERVICE SPECIFICATIONS. OBTAIN A COPY AS NEEDED.
- THE ELECTRICAL INSTALLATION WORK SHALL COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES APPLICABLE TO THE ELECTRICAL WORK.
- ARC FLASH HAZARD WARNING SIGNS: THE FOLLOWING DEVICES SHALL HAVE A PERMANENT LABEL OF ARC FLASH HAZARD: SERVICE QUALIFIED PERSONS OF POTENTIAL ARC FLASH HAZARDS; TRANSFORMERS; SWITCHES; METER ENCLOSURES; DISCONNECTS; TRANSFORMERS; DISTRIBUTION OR SERVICE EQUIPMENT; TRANSFER SWITCHES; DISCONNECTS; TRANSFORMERS; TRANSFORMERS; TRANSFORMERS. ALL LABELS SHALL MEET THE GUIDELINES FOR SAFETY SIGNS SPECIFIED IN THE CURRENT REVISION OF ANSI Z53.4.
- CONTRACTOR SHALL VISIT SITE AND VERIFY EXISTING CONDITIONS BEFORE BEGINNING WORK.
- ALL MATERIAL AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY DEFECTS OR DAMAGE OCCUR DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP OR MATERIALS, CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
- ALL WORK TO BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED TO BE COMPLETED.
- ALL BRANCH CIRCUIT CONDUCTORS SHALL BE COPPER TYPE TH, #12, AND #10 SOLID, #8 AND LARGER STRANDED.
- CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE WIRELESS PROJECT MANAGER UPON COMPLETION OF THE JOB.
- ELECTRICAL WORK SHALL INCLUDE ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED INCLUDING BUT NOT LIMITED TO COMPLETE ELECTRICAL SYSTEMS POWER AND LIGHTING, TELEPHONE CONDUIT SYSTEMS, PANELBOARD(S), CONTROL WIRING, GROUNDING CONDUCTORS, AND/OR REQUIRED BY GOVERNING CODES.
- PRIOR TO INSTALLING ANY ELECTRICAL WORK, CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND REQUIREMENTS ON THE JOB AND BY REFERENCE TO ARCHITECTURE, AND EQUIPMENT SUPPLIER'S DRAWINGS. SHOULD THERE BE ANY QUESTIONS OR PROBLEMS DURING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS FROM THE WIRELESS PROJECT MANAGER SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
- THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS, ELECTRICAL SERVICE REQUIREMENTS AND COORDINATE ALL NECESSARY PERMITS AND REQUIREMENTS WITH LOCAL UTILITY AS NECESSARY.
- THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS.
- THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE, ALL LOCAL, STATE AND OTHER SAFETY ORDERS, ALL CODES AND ORDINANCES AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION OVER THIS WORK.
- NETWORK-POWERED BROADBAND COMMUNICATIONS EQUIPMENT AND CABLES SHALL BE LISTED AND MARKED IN ACCORDANCE WITH NEC 650.179 (A) OR (B).
- CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES. BROADBAND COMMUNICATIONS SYSTEMS EQUIPMENT & CABLES SHALL BE LISTED AND MARKED IN ACCORDANCE WITH NEC 640.179.

**NOTICE:**

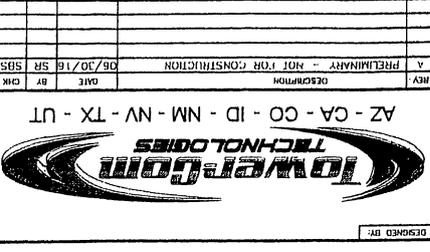
- CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT UNLESS THEY FIRST OBTAIN A COMPLETE SET OF DRAWINGS LISTED IN THE TITLE SHEET INDEX.

**GENERAL GROUNDING NOTES:**

- CONTRACTOR SHALL COMPLY WITH WIRELESS CELL SITE GROUNDING & BONDING SPECIFICATIONS. IN THE EVENT THAT DRAWINGS TO THE WIRELESS PROJECT MANAGER UPON COMPLETION OF THE JOB.
- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND BONDING MAY VARY DUE TO SITE SPECIFIC CONDITIONS. KIT GROUND MAY BE REQUIRED.
- GROUND RODS SHALL BE COPPER CLAD STEEL, 5/8" x 8' LONG.
- BREAKING DUE TO SETTLEMENT AND MOVEMENT OF CONDUCTORS AT ATTACHED POINTS.
- RESISTANCE TO GROUND SHALL NOT EXCEED 5 OHMS MEASUREMENT. ADDITIONAL GROUND RODS OR KIT GROUND SHALL BE PROVIDED TO ATTAIN THIS RESISTANCE. RESISTANCE SHALL BE MEASURED BETWEEN 8 AND 15 FEET APART.
- ALL GROUNDING CONDUCTORS SHALL BE U.L. LISTED FOR THEIR PURPOSE.
- ALL GROUNDING CONNECTIONS TO GROUND BARS SHALL BE U.L. 487 LISTED, IRREVERSIBLE COMPRESSION TYPE.
- ALL CONNECTIONS TO GROUND BARS SHALL BE COATED WITH ANTI-OXIDANT COMPOUND.
- PROVIDE ONE TIME HIT 1 LB. HAMMER TEST ON ALL CADWELDS.
- ALL EXTERIOR GROUND BARS SHALL BE GALVANIZED STEEL.

DESIGNED FOR  
**verizon wireless**  
9556 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84081

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REV	DESCRIPTION
A	PRELIMINARY - NOT FOR CONSTRUCTION
BY	DATE
CHK	DATE
SR	DATE
SBS	DATE

PROJECT NAME: **SAL WALMART CLINTON**

PROJECT ADDRESS: **SMALL CELL INSTALLATION PROJECT**

PROJECT ADDRESS: **1632 N 2000 W  
CLINTON, UT 84015  
DAVIS COUNTY**

SHEET TITLE: **ELECTRICAL & GROUNDING  
GENERAL NOTES**

SCALE DATE: **7/1/2018 11:43 PM**

SHEET NUMBER: **E 1**

PRELIMINARY  
NOT FOR CONSTRUCTION

DESIGNED FOR:

**verizonwireless**  
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PROJECT NAME: **SAL WALMART CLINTON**  
 SMALL CELL INSTALLATION PROJECT

PROJECT ADDRESS:  
 1632 N 2000 W  
 CLINTON, UT 84015  
 DAVIS COUNTY

SHEET TITLE:  
**SINGLE-LINE DIAGRAM**

DATE: 7/1/2016 1:43 PM  
 SHEET NUMBER: **E2**

**NOTES:**

- ALL CONDUIT NOT SPECIFIED OTHERWISE SHALL BE SCHD. 40 PVC BELOW GRADE. ALL CONDUIT IN ABOVE GRADE AREAS THAT ARE ACCESSIBLE ONLY TO VERIZON WIRELESS AUTHORIZED PERSONNEL.
- CONTRACTOR TO INSTALL POWER CONDUIT THROUGH INTERIOR OF WALMART FACILITY ATTACHED TO CEILING AND/OR WALLS AS APPROPRIATE AND ALONG ROUTE ACCEPTABLE TO STORE MANAGER.

**FAULT SUMMARY FOR COMM. SITE:**

- FAULT CALCULATIONS ARE BASED ON THE FOLLOWING ASSUMPTIONS:
- SINGLE #8 COPPER CONDUCTORS FROM PANEL "L3D" TO PANEL "B".
  - MINIMUM ONE-WAY CONDUCTOR LENGTH OF 180 FEET FROM PANEL "L3D" TO PANEL "B".
- IF FIELD CONDITIONS RESULT IN THE TRANSFORMER OR CONDUCTORS BEING LARGER THAN STATED ABOVE, OR THE CONDUCTORS BEING SHORTER, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO REVISE THE FAULT CALCULATIONS.
- PANEL "L3D" SCA<sub>1-4</sub> = XXXA  
 PANEL "B" SCA<sub>1-4</sub> = XXXA  
 PANEL "L3D" SCA<sub>1-4</sub> = XXXA  
 PANEL "B" SCA<sub>1-4</sub> = XXXA

**LEGEND:**  
 X INDICATES CALCULATED FAULT POINT W/AC AMPS.

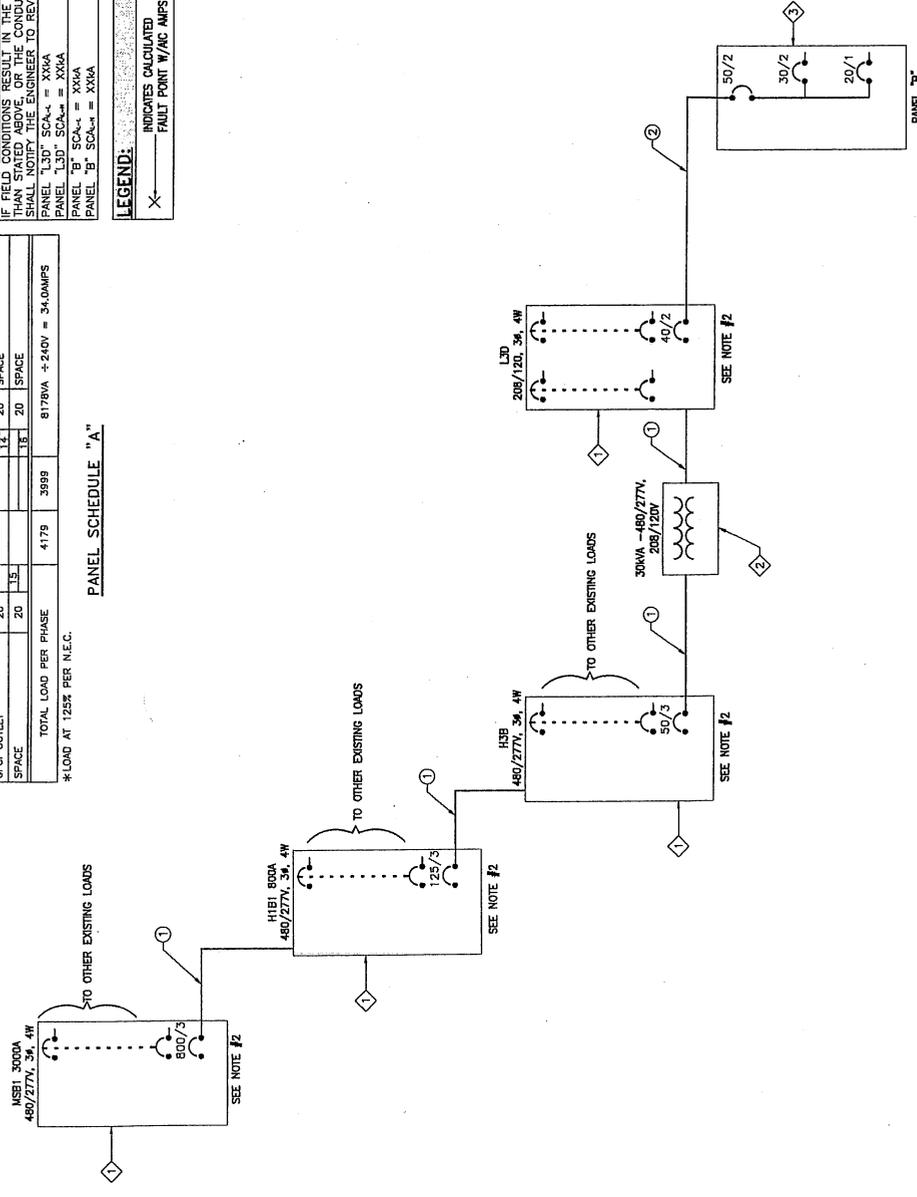
**PANELBOARD SCHEDULE "B"** LOCATION ON CABINET: PANEL ASSEMBLY RATING:

USE AND/OR AREA SERVED	C/B	NO.	MANNS:	DOA, M.C.B.	MOUNTING SURFACE	CIR NO.	C/B NO.	CIR	LOAD
RECIFIER #1	20	2	3	1333	4B	1333	7	20	SPACE
RECIFIER #2	20	5	1333	1333	4	1333	4	20	SPACE
RECIFIER #3	20	7	1333	1333	8	1333	8	20	SPACE
GPO OUTLET	20	11	1333	1333	12	1333	12	20	SPACE
SPACE	20	13	180		13		13	20	SPACE
SPACE	20	15			15		15	20	SPACE

TOTAL LOAD PER PHASE: 4179      8178VA + 240V = 34.0AMPS  
 \*LOAD AT 125% PER N.E.C.

**PANEL SCHEDULE "A"**

- KEYED COMPONENT NOTES:**
- EXISTING ELECTRICAL PANEL
  - EXISTING DRY-TYPE TRANSFORMER
  - AC POWER PANEL SUPPLIED WITH CABINET.
- KEYED CONDUIT NOTES:**
- EXISTING CONDUIT & CONDUCTORS.
  - 1" C MINIMUM, (3) #8 THWN COPPER CONDUCTORS, (1) #10 COPPER GROUND, BY CONTRACTOR.



**SINGLE LINE DIAGRAM**

**NOTICE:**  
 CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

NOT FOR CONSTRUCTION

**DESIGNED FOR**  
**verizonwireless**  
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 WEST JORDAN, UTAH 84081

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**AZ - CA - CO - ID - NM - NV - TX - UT**

**TowerCam TECHNOLOGIES**

DESIGNED BY: \_\_\_\_\_

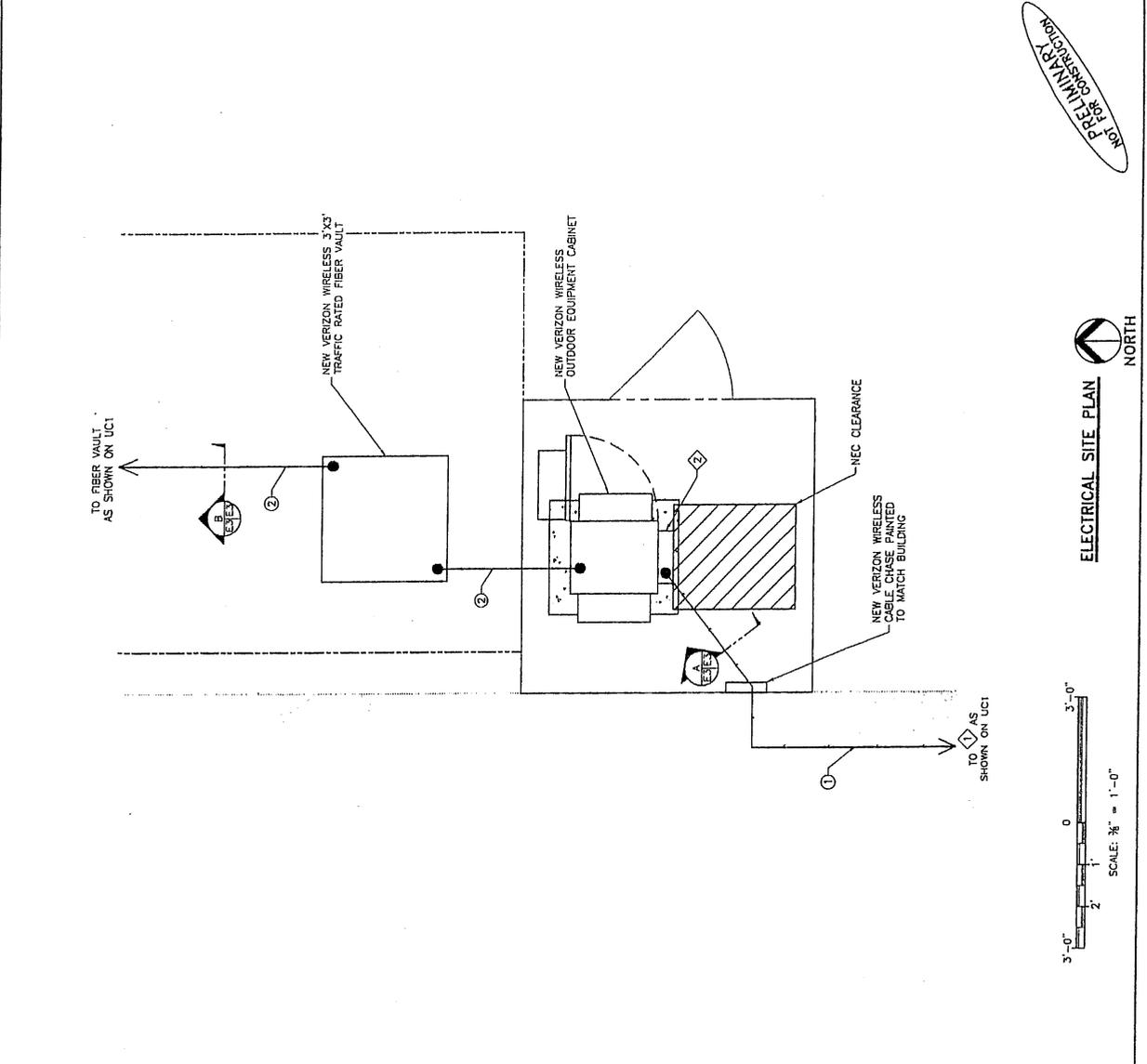
**PROJECT NAME**  
 SAL WALMART CLINTON  
 SMALL CELL INSTALLATION PROJECT

**PROJECT ADDRESS**  
 1632 N 2000 W  
 CLINTON, UT 84015  
 DAVIS COUNTY

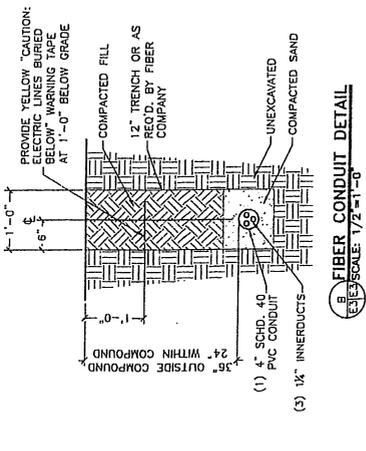
**SHEET TITLE**  
 ELECTRICAL SITE PLAN

**DATE**  
 7/1/2016 1:43 PM

**SHEET NUMBER**  
 E3

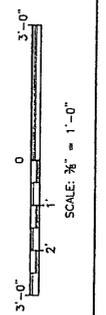


- KEYED COMPONENT NOTES:**
- 1. EXISTING 100A, 3φ, 208Y/120V PANEL (PANEL 1,3D)
  - 2. NEW DISTRIBUTION PANEL, SPECIFIED ON SINGLE-LINE DIAGRAM.
- KEYED CONDUIT NOTES:**
- 1. NEW CONDUIT & CONDUCTORS, SPECIFIED ON SINGLE-LINE DIAGRAM, BY CONTRACTOR.
  - 2. NEW 4" SCHD. 40 PVC CONDUIT W/TRACER WIRE & (3) 1/2" INNERDUCTS, EACH W/200LBS PULL CORD BY CONTRACTOR.
- ALL CONDUIT NOT SPECIFIED OTHERWISE SHALL BE SCHD. 40 PVC BELOW GRADE IMC ABOVE. EMT ACCEPTABLE INDOORS IN AREAS THAT ARE ACCESSIBLE ONLY TO VERIZON WIRELESS AUTHORIZED PERSONNEL.
- CONTRACTOR TO INSTALL POWER CONDUIT THROUGH INTERIOR OF WALMART BUILDING AND/OR WALLS AS APPROPRIATE AND ALONG ROUTE ACCEPTABLE TO STORE MANAGER.



**NOTICE:**

1. CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT REVIEWING THE COMPLETE SET OF DRAWINGS LISTED IN THE TITLE SHEET INDEX.



**ELECTRICAL SITE PLAN**  
 NORTH

PRELIMINARY  
 NOT FOR CONSTRUCTION

DESIGNED FOR:

**verizon**wireless

9636 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84081

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PROJECT NAME:

SAL WALMART CLINTON  
SMALL CELL INSTALLATION PROJECT

PROJECT ADDRESS:

1632 N 2000 W  
CLINTON, UT 84015  
DAVIS COUNTY

SHEET TITLE:

GROUNDING SITE PLAN

DATE:

7/1/2016 1:43 PM

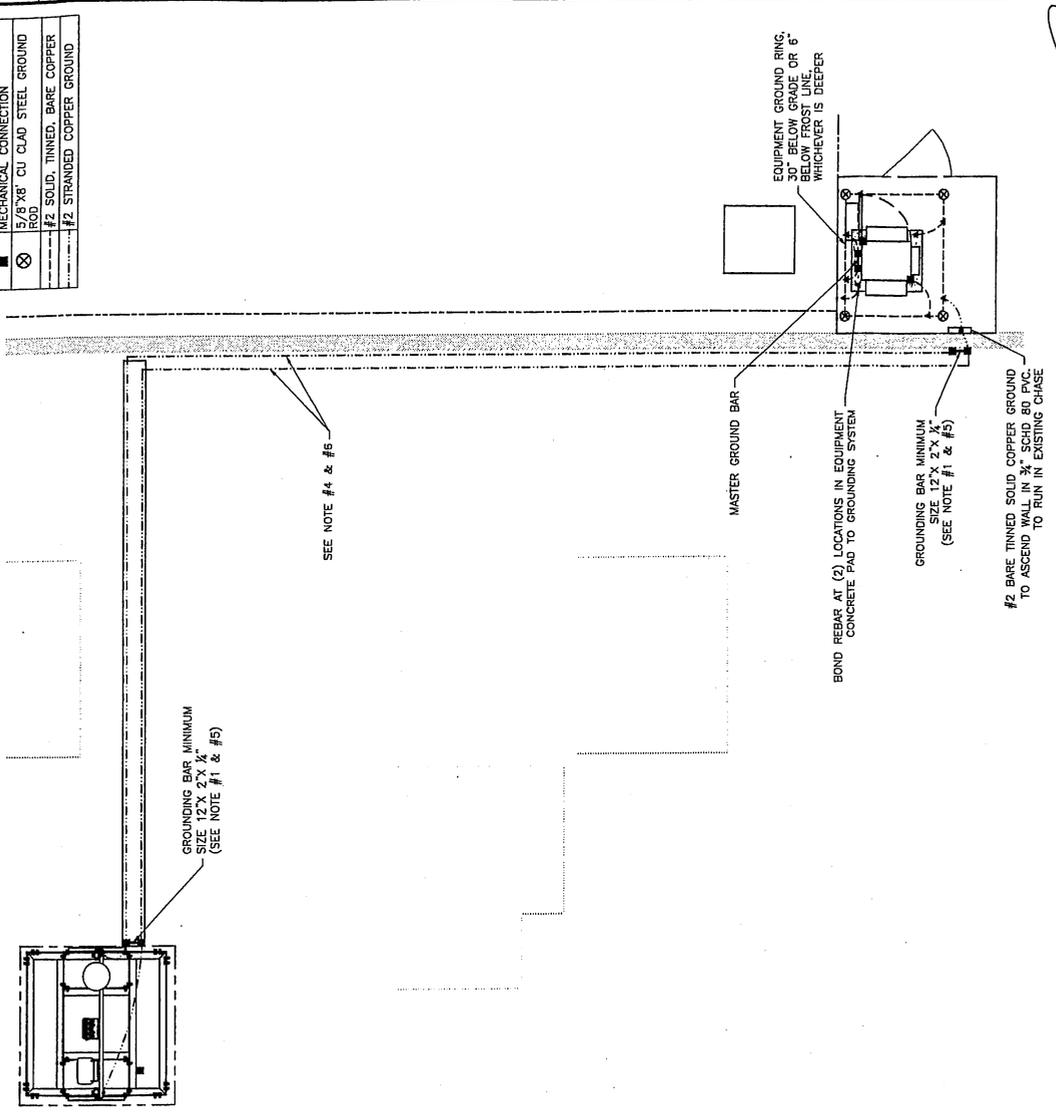
SHEET NUMBER:

G1

**GROUNDING LEGEND:**

▲	CADWELD CONNECTION
■	MECHANICAL CONNECTION
□	5/8"X8' CU CLAD STEEL GROUND ROD
○	#2 SOLID, TINNED, BARE COPPER
⊗	#2 STRANDED COPPER GROUND

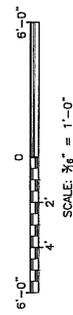
- NOTES:**
- ALL EXTERIOR GROUND BARS SHALL BE GALVANIZED STEEL AND SHALL HAVE ALARM CONNECTIONS FOR THEFT PREVENTION PER LESSEE GROUNDING STANDARD NSTD48 REV 2-1-11, SECTION 5.3.
  - CONTRACTOR TO BOND ANY METALLIC ITEMS WITHIN 6' OF VERIZON WIRELESS EQUIPMENT, SHELTER OR GROUND RING TO VERIZON WIRELESS GROUND RING.
  - THE GROUNDING DIAGRAM SHOWN HERE IS SOMEWHAT SCHEMATIC IN NATURE AND MANY OF THE CONNECTIONS SHOWN ARE TO BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR TO INSURE THAT THEY STAND OUT FROM LEASE LINES, FENCE LINES AND SHELTER LINES ETC. ALL GROUNDING AND BONDING CONDUCTORS SHOULD BE INSTALLED IN AS STRAIGHT A LINE AS POSSIBLE. ANY BENDS THAT ARE REQUIRED IN GROUNDING OR BONDING CONDUCTORS SHOULD HAVE A RADIUS OF LESS THAN 90 DEGREES.
  - ALL GROUNDING AND BONDING CONDUCTORS SHALL BE BONDED TO VERIZON WIRELESS GROUNDING SYSTEM WITH MINIMUM OF (2) BONDS. BONDS SHALL BE INSTALLED IN OPPOSITE SIDES OF COAX CABLE TRAY WHEN IT IS USED OR IN CONDUITS ROUTED WITH HYBRIFLEX CABLES IF CABLE TRAY IS NOT USED.
  - CONTRACTOR TO LOCATE GROUND BAR FOR SECTOR FRAME AT LOCATION THAT PERMITS GROUNDING COAX FOR FRAME WITHOUT GROUNDING KIT PIGTAILS BENDING BACK ON FRAME.
  - ALL GROUNDING OR BONDING CONDUCTORS INSTALLED INSIDE ANY TYPE OF METALLIC CONDUIT MUST BE BONDED TO BOTH ENDS OF THE CONDUIT WITH HARDWARE U.L. LISTED FOR THIS PURPOSE.



PRELIMINARY  
NOT FOR CONSTRUCTION



GROUNDING SITE PLAN

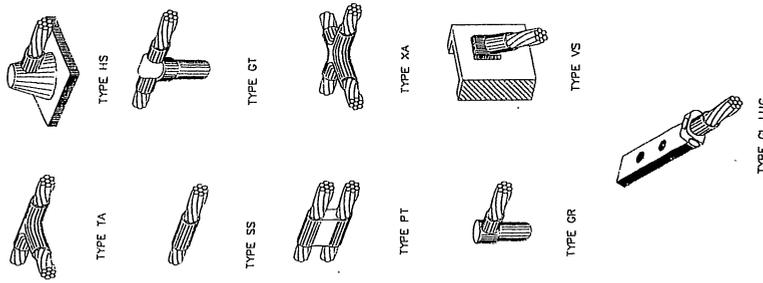


**NOTICE:**

- CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

**GROUNDING LEGEND:**

▲	CADWELD CONNECTION
●	COAX GROUND KIT
■	MECHANICAL CONNECTION
⊙	5/8" X 8' CU CLAD STEEL GROUND ROD
---	#2 SOLID, TINNED, BARE COPPER INTERIOR GROUND
- - -	#2 STRANDED, INSULATED, COPPER INTERIOR GROUND

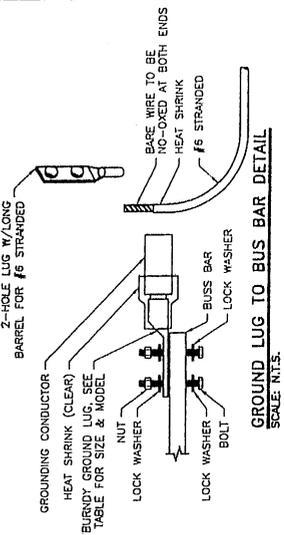


**NOTE:** TYPES SHOWN ABOVE ARE EXAMPLES. CONSULT PROJECT MANAGER FOR SPECIFIC TYPES OF CADWELDS TO BE USED FOR THIS PROJECT.

**TYPICAL CADWELD & COMPRESSION CONNECTION DETAILS**

- NOTES:**
- ALL HARDWARE BOLTS, NUTS & LOCK WASHERS SHALL BE STAINLESS STEEL CONNECTIONS SHALL BE BOLT, LOCK WASHER, BUS BAR, LUG & LOCK WASHER, IN THAT ORDER.
  - CONNECTIONS TO STEEL SHALL HAVE A THOMAS & BETTS IDIY DRAGON TOOTH TRANSITION WASHER BETWEEN THE LUG, & STEEL. DRAGON TOOTH CONNECTIONS SHALL BE BOLT, LOCK WASHER, LUG, LOCK WASHER, LUG, LOCK WASHER, NUT.
  - WOPER SHALL BE ATTACHED TO WYER OR CONDUCTOR TO BE PLACED WHERE ALL DISSIMILAR METALS CONNECT.

WIRE SIZE	BURNDY LUG	BOLT SIZE
#6	YA8C-2TC38	3/8" - 16 NC S 2-BOLT
#2 AWG SOLID	YA3C-2TC38	3/8" - 16 NC S 2-BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 2-BOLT
#2/0 AWG	YA2S-2TC38	3/8" - 16 NC S 2-BOLT
#4/0 AWG	YA2B-2N	3/8" - 16 NC S 2-BOLT



**verizonwireless**  
9656 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84081

**TowerGom TECHNOLOGIES**

AZ - CA - CO - ID - NM - NV - TX - UT

DESCRIBED BY: \_\_\_\_\_  
DATE: 06/30/16  
REVISIONS: \_\_\_\_\_  
DESCRIPTION: PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT NAME: **SAL WALMART CLINTON**  
PROJECT ADDRESS: **SMALL CELL INSTALLATION PROJECT**

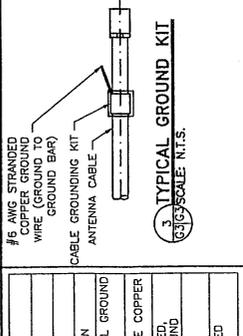
PROJECT ADDRESS: **1632 N 2000 W CLINTON, UT 84015 DAVIS COUNTY**

SHEET TITLE: **GROUNDING DETAILS**

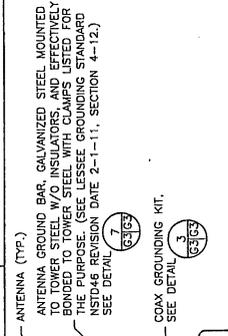
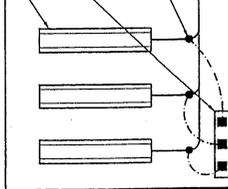
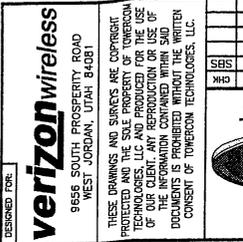
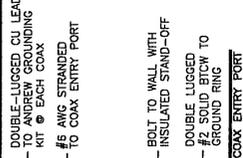
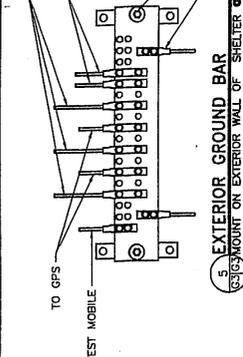
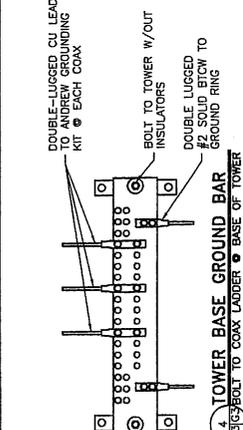
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SHEET NUMBER: **G2**

**PRELIMINARY NOT FOR CONSTRUCTION**

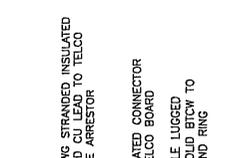
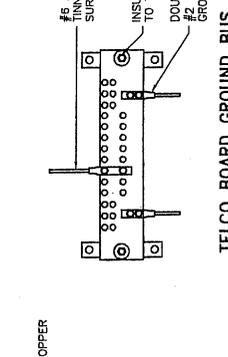
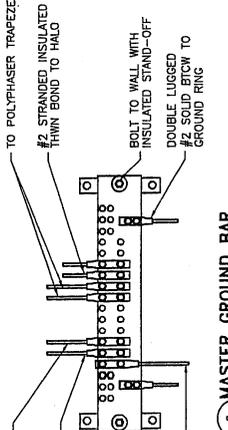
GROUNDING LEGEND:	
▲	WELDED CONNECTION
○	COAX GROUND KIT
■	MECHANICAL CONNECTION
○	5/8" X 8" CU CLAD STEEL GROUND ROD
○	#2 SOLID, TINNED, BARE COPPER
○	#2 STRANDED, INSULATED, COPPER INTERIOR GROUND
○	COAX & JUMPERS
○	#6 STRANDED, INSULATED COPPER THIN



**THEFT DETERRENT:**  
ALL EXTERIOR GROUND BARS TO BE GALVANIZED AND TAMPED WITH TAMPER PROOF HARDWARE AND WITH ALARM CONNECTIONS PER STANDARD INSTALLATION REVISION DATE 2-1-11. SEE NOTES BELOW.

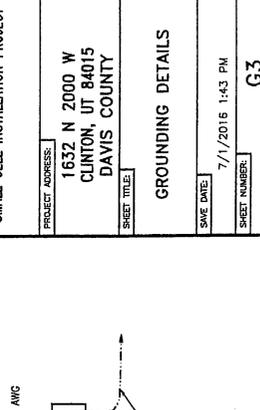
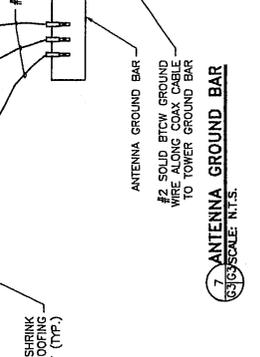
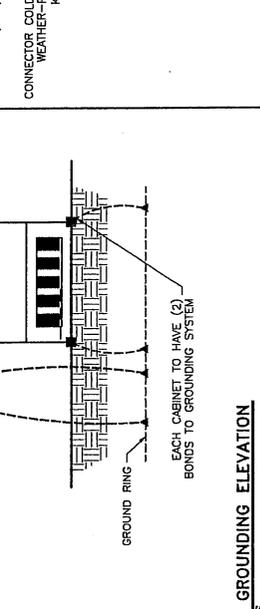
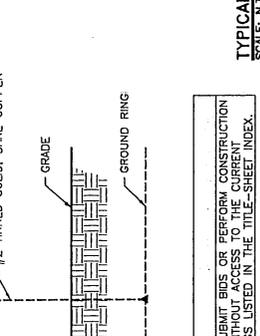
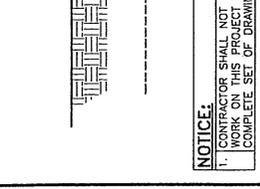
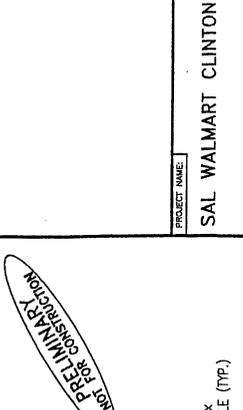
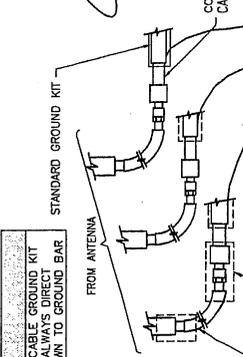
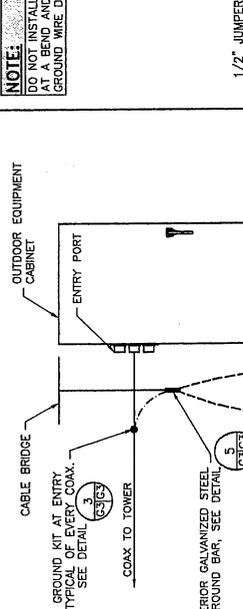
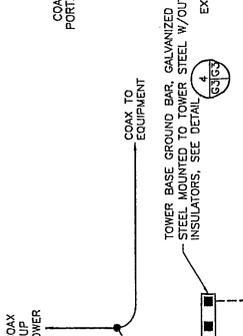
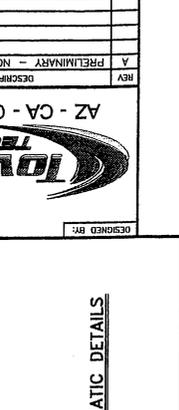
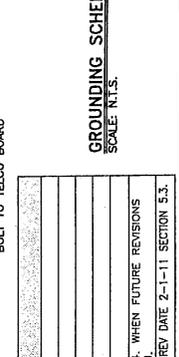
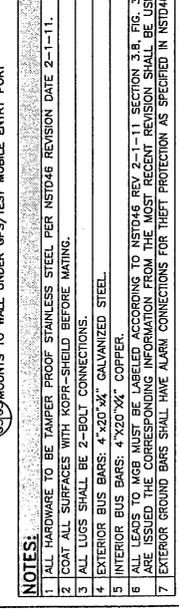


**THEFT DETERRENT:**  
ALL EXTERIOR GROUND BARS TO BE GALVANIZED AND TAMPED WITH TAMPER PROOF HARDWARE AND WITH ALARM CONNECTIONS PER STANDARD INSTALLATION REVISION DATE 2-1-11. SEE NOTES BELOW.



**NOTES:**

- ALL HARDWARE TO BE TAMPER PROOF STAINLESS STEEL PER NSTD46 REVISION DATE 2-1-11.
- COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
- ALL LUGS SHALL BE 2-BOLT CONNECTIONS.
- EXTERIOR BUS BARS: 4" X 20" X 1/2" GALVANIZED STEEL.
- EXTERIOR BUS BARS: 4" X 20" X 1/2" COPPER.
- ALL LEADS TO MGR MUST BE LABELED ACCORDING TO NSTD46 REV 2-1-11, SECTION 3.8, FIG. 3.4. WHEN FUTURE REVISIONS ARE ISSUED THE CORRESPONDING INFORMATION FROM THE MOST RECENT REVISION SHALL BE USED.
- EXTERIOR GROUND BARS SHALL HAVE ALARM CONNECTIONS FOR THEFT PROTECTION AS SPECIFIED IN NSTD46 REV DATE 2-1-11 SECTION 5.3.



DESIGNED FOR:

**verizon wireless**  
9555 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84081

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**TOWERCOM TECHNOLOGIES**

AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK	APP
A	PRELIMINARY - NOT FOR CONSTRUCTION	06/30/16	SM	SM	SBS

PROJECT NAME:

**SAL WALMART CLINTON**

PROJECT ADDRESS:

1632 N 2000 W  
CLINTON, UT 84015  
DAVIS COUNTY

SHEET TITLE:

**GROUNDING DETAILS**

SAVE DATE:

7/1/2016 1:43 PM

SHEET NUMBER:

**G-3**

**NOTICE:**  
CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.



**WALMART CLINTON**  
PHOTO SIMULATION  
2016 SEPTEMBER 2

**SITE ADDRESS:**  
1632 NORTH 2000 WEST  
CLINTON, UT 84015

**COORDINATES:**  
LAT: 41° 8'14.75"N  
LONG: 112° 3'38.73"W

**CONTENTS:**  
PS1: COVER  
PS2: EXISTING NORTH ELEVATION  
PS3: NORTH ELEVATION SIMULATION  
COMPOUND FENCE  
PS4: NORTH ELEVATION SIMULATION  
CABINET  
PS5: EXISTING NORTH ELEVATION  
ANTENNA  
PS6: NORTH ELEVATION SIMULATION  
ANTENNA



Disclaimer: These photographic simulations have been provided to aid in visualizing how the proposed wireless telecommunications facility shown herein would appear if constructed. While these renderings are not an exact science, they have been prepared diligently to accurately reflect dimensions, scale, depth, coloring, texture, and other important elements in the proposed design insofar as the digital medium allows. Taken together with the engineering drawings and other materials submitted with the application, they are fair and reasonable visual depictions of how the propose site would appear.





**verizon**wireless

WALMART CLINTON  
SITE PHOTO  
EXISTING NORTH ELEVATION  
SEPTEMBER 2, 2016





NEW VERIZON WIRELESS  
COMPOUND FENCE WITH  
PROTECTIVE BOLLARDS



**verizon**wireless

WALMART CLINTON  
SITE PHOTO  
ELEVATION SIMULATION  
SEPTEMBER 2, 2016



**TowerCom**  
TECHNOLOGIES



NEW VERIZON WIRELESS  
OUTDOOR CABINET BEHIND  
FENCE WITH PRIVACY SLATS



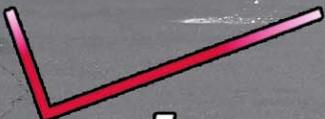
**verizon**wireless

WALMART CLINTON  
SITE PHOTO  
ELEVATION SIMULATION  
SEPTEMBER 2, 2016



**TowerCom**  
TECHNOLOGIES



  
**verizon**wireless

WALMART CLINTON  
SITE PHOTO  
EXISTING NORTH ELEVATION  
SEPTEMBER 2, 2016



NEW VERIZON WIRELESS  
CANISTER ANTENNA



WALMART CLINTON  
SITE PHOTO  
ELEVATION SIMULATION  
SEPTEMBER 2, 2016



# CLINTON CITY PLANNING COMMISSION AGENDA ITEM

<b>SUBJECT:</b> <b>7:15 p.m. – Resolution 13-16</b> – Review and recommendation to the City Council upon a request from Kyle and Lindsay Hamblin to Amend the Final Plat of the Country Homes Subdivision by combining an additional parcel to lot 13 located at 2063 North 2475 West, Clinton.	<b>AGENDA ITEM:</b>  <span style="font-size: 2em;">2</span>
<b>PETITIONER:</b> Kyle and Lindsay Hamblin, owners	<b>MEETING DATE:</b> September 20, 2016
<b>ORDINANCE REFERENCES:</b> Country Homes Subdivision is in the R-1-9 zone. General Plan, Master Land Use Map is designated R-1-9. Subdivision Regulations 26-3-1	<b>ROLL CALL VOTE:</b>  <span style="font-size: 1.2em;">YES            NO</span>
<b>BACKGROUND:</b> Lot 13 of the Country Homes Subdivision would be enlarged by combining a small parcel adjacent and west of this lot, thereby amending the Final Plat of this subdivision.  <div style="padding-left: 40px;">           PART OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN. MORE PARTICULARLY DESCRIBED AS FOLLOWS;             BEGINNING AT A POINT ON THE SOUTHERLY RIGHT OF WAY OF 2705 NORTH STREET, SAID POINT BEING N00°01'16"E 1443.94 FEET AND S89°58'41"E 1.03 FEET FROM THE CENTER QUARTER CORNER OF SAID SECTION 28; THENCE EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF 2705 NORTH STREET 115.00 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF 2475 WEST STREET; THENCE S00°01'16"W ALONG THE WESTERLY RIGHT-OF-WAY LINE OF 2475 WEST STREET 117.00 FEET; THENCE WEST 115.00 FEET TO THE SOUTHEAST CORNER OF PARCEL A, SUNSHINE MEADOWS SUBDIVISION; THENCE N00°01'16"E ALONG THE EASTERLY BOUNDARY LINE OF SUNSHINE MEADOWS 117.00 FEET TO THE POINT OF BEGINNING.             CONTAINING 13,455 SQUARE FEET OR 0.309 ACRES MORE OR LESS         </div>	
<b>ALTERNATIVE ACTIONS:</b>	
<b>ATTACHMENTS:</b> Resolution 13-16	

Respectfully submitted, Will Wright, Community Development Director



**Final Subdivision Application**  
**Community Development**  
2267 North 1500 West  
Clinton City, UT 84015  
Phone: (801) 614-0740  
Fax: (801) 614-0752

**Staff Use Only**

Date: 8/9/16 Zone: \_\_\_\_\_ PC Date: \_\_\_\_\_ CC Date: \_\_\_\_\_

**SUBDIVISION NAME:** Country Homes Lot 13  
**ADDRESS:** 2063 N 2475 W Clinton UT 84015

**OWNER or the Authorized Representative (s):** Kyle Hamblin and Lindsay Hamblin  
**ADDRESS:** 2063 N 2475 W Clinton UT 84015  
**PHONE#** 8013368082 **FAX#** Ø **E-MAIL** cougargirls3@yahoo.com

**Engineer and/or Surveyor::** Reeve and Associates, Inc.  
**ADDRESS:** 5160 South 1500 West Riverdale UT 84405  
**PHONE#** 8016213100 **FAX#** 8016212666 **E-MAIL** www.reeve-assoc.com

I HAVE READ THE APPLICATION AND HEREBY CERTIFY THAT THE INFORMATION IS CORRECT TO THE BEST OF MY KNOWLEDGE.

  
Signature of owner or applicant

The following checklist is a summary of the requirements for the Final Plat in Clinton City. The final engineering drawings are to consist of enough pages to clearly provide the required information.

**FINAL PLAT CHECKLIST**

- The following checklists are a summary of the requirements for the Final Plat in Clinton City. The final engineering drawings are to consist of enough pages to clearly provide the required information.
- Copies of signed letters from Davis/Weber Canal Company.
- Pay the appropriate application fees. (Fees due at time of application)

**COVER PAGE**

Each set of engineering drawings shall have a cover page containing, at a minimum the following information:

- 7 copies – 6 Copies at 24" x 36" and 1 copy at 11" x 17"
- Subdivision name & phase number (if applicable)
- Approximate address
- Vicinity Map
- Key map of entire subdivision with phase indicated
- Name, address, phone, fax number, and e-mail address of developer and principal contact.
- Name, address, phone, fax number, and e-mail address of engineering firm and principal engineer.
- Engineer's notice to contractors
- General Notes
- List of drawings
- County reference / benchmark data
- Date of drawing of last revision
- Clinton City construction requirement note "All construction shall conform to the Development Standard Drawings and Specifications for Clinton City."
- Pressure irrigation construction note: "All pressure irrigation construction shall conform to the standard drawings & specifications of the Davis & Weber Counties Canal Company."

**INFORMATION REQUIRED ON ALL ENGINEERING PAGES:**

**Construction Drawings**

- All drawings and text are to be legible.
- North Arrow
- Date of drawing of last revision
- Key map showing subdivision and designating section that is on the page.
- Legend of all symbols used on the drawings

- Lot numbers, if applicable.
- Name of subdivision and phase number
- Required notes
- Scale is to be no smaller than 1:50
- Sheet number and total number of sheets
- Typical road cross section with utilities
- Street Stationing
- Existing and proposed easements

## **ENGINEERING REQUIREMENTS:**

### **1. Plan Views**

*Notes pertaining to the modifications of existing*

- Right-of-ways
- Easements
- Utilities
- Fences
- Structures and Buildings
- Irrigation systems
- Drainage and drains
- Property lines
- Monuments

*Roadways*

- Curbs and gutters
- Sidewalk
- Street
- Right-of-way
- Drainage easements
- TBC – station and elevation at lot lines
- Grade breaks – station and elevations
- Horizontal curves – PC station and elevations, PT station and elevations, radius, length, delta.

*Proposed and Existing Utilities*

- Show and label connections to existing utilities
- Utility vertical separation
- Gravity Irrigation - ditches, structures, main lines, pipe size and type, head-gates, etc.
- Sewers – Main lines, pipe size and type, manholes, etc.
- Storm Drain – main lines, pipe size and type, manholes, catch basin, boxes, etc
- Culinary water – main lines, pipe size and type, valves, blow-offs, fire hydrants, meter boxes, etc. Valves and fire hydrants are to be shown in the same locations as on the approved preliminary plat.
- Secondary water – main lines, pipe size and type, valves, air inlets, drains, services, etc. Valves are to be shown in the same locations as on the approved preliminary plat.
- Land drain – main lines, pipe size and type, manholes, etc.
- Field drains – location, size, material, etc.

*General Items*

- Fences - Type and Height
- Streetlights – streetlights are to be shown in the same locations as on the approved preliminary plat.
- All specifications and references required by the Engineering and Standard Specifications and Standard Drawings for Clinton City

### **2. Profile Views**

*Roadways*

- Existing ground profile or centerline of existing road
- Street center line profile – station and elevation every 100 feet
- Grade breaks – station and elevation
- Vertical curves – PC station and elevation, PT station and elevation, PI station and elevation, radius, central angle, length, k value
- Street center line profile for 100 feet on existing streets
- If offset TBC exists, the TBC'S need to be shown in the profile
- If curb & gutter is added to an existing street, show the TBC in profile
- Where steep cross slopes exist – cross sections at 50 foot stations with elevation points at centerline of road, property line, and 25 feet inside property line

*Proposed and Existing Utilities*

- Gravity Irrigation pipes -
  - New lines – main lines, sizes slopes, material type, structures, manholes, etc.
  - Existing lines – through intersections show main lines, size slope, material type, manholes, structures, etc.
- Sewers – main line, pipe size and type, slope, manhole locations and sizes, manhole rim and invert elevations, laterals, etc.
- Storm Drain – main line, pipe size and type, slope, manhole locations and sizes, catch basin locations, manhole rim and invert elevations, catch basin TBC and invert elevations, etc.
- Secondary water – main lines, pipe size and type, slope, valves, air inlets, drains, loops, etc. Existing secondary water lines in non-subdivision streets do not need to be shown.

- Land drain – main line, pipe size and type, slope, manhole locations and sizes, manhole rim and invert elevations, laterals, etc.

### **3. Master Utility Plan**

- 
- 4. Storm Water Discharge Requirements**
- Erosion and sediment control plan
- Application for storm water discharge permit from Clinton City
- Executed application for storm water discharge permit from the State if larger than 5.0 acres
- Construction access location
- Concrete washout lot

### **AS BUILT DRAWINGS:**

- Drawings are to meet the requirements outlined for the Construction Drawings and Engineering Requirements and show all features as they were constructed. Drawings shall be locally reproducible, XEROX, and show all features, red-line or other corrected drawings shall not be acceptable.

### **FINAL PLAT**

#### *Plat*

- Material shall be reproducible linen or Mylar
- Finished size must be 19" x 30"
- All ink is to be black, permanent type ink
- Plat must be cleanly, clearly and legibly reproducible. No half-tones and gray/shaded line work or text. Text should not be overlapped by line work or other text or symbols.

#### *Title of Plat*

- Name and subdivision
- Location of subdivision – listing section quarter, section, Township and Range, in the Salt Lake Base & Meridian
- Label City – Clinton City, Davis County, Utah
- Date

#### *Drawing*

- North arrow
- Top of plat is to be north or west
- Scale – scale is to be no smaller than 1:100
- Graphic scale
- If more than one sheet, the page number and total number of pages needs to be shown
- Engineer's name, address, phone number

#### *Notes*

- Clinton City Water Table Note:  
"Many areas in Clinton City have water problems due to a sensationally high (fluctuating) water table. Approval of this plat does not constitute representation by Clinton City that any building at any specified elevation will solve ground water problems. Solution of these problems is the sole responsibility of the permit applicant and property owner."
- Notation of self imposed restrictions
- Narrative of subdivision survey
- Other required notes deemed necessary by Clinton City

#### *General Plat Information*

- Street names/numbers
- Street (R-O-W) widths from centerline and total width
- Lengths shall be shown to hundredths of a foot, and angles and bearings shall be shown to the nearest second.
- Legal description of property
- Total acreage of property with total number of lots
- Boundary of property shown on plat and matching legal description
- Tie to County section monument on the plan and in legal description
- Basis of bearing – noted on plan and shown on plat drawing
- Lots – property line bearings and distances, curve data
- Lot area in d square feet
- Lot numbers and addresses
- Location, description of monuments that are found
- Locations of new monuments
- Location, dimension, and purpose of any easements

#### *Signature Blocks*

- Surveyor's Certificate
- Owner's dedication with full information pertaining to legal owner filled in and notary acknowledgement
- Certificate of acceptance by the Clinton City Council with a signature line for the Mayor and attested by the City Recorder and Notary Acknowledgement
- Certificate of approval by the Clinton City Planning Commission
- Certificate of approval by the Clinton City Engineer with the following wording:

"I hereby certify that this office has examined this plat and it is correct in accordance with information on file in this office."

- Utility Companies: Qwest Communications; Rocky Mountain Power; & Questar Gas Company.
- County recorders information box

**FOR OFFICE USE ONLY:**

Base Fee: \$ 450.00 per Lot Fee: \$ 35.00 Total Fee: \$ 495.00  
 Receipt #: 2-220090 Date: 8/9/16

**FINAL APPROVAL PROCESS:**

- ✦ One copy of the preliminary plat will be submitted to: Fire, Engineering, Public Works (Sewer, Water), Police and Planning
- ✦ The applicant will need to submit additional copies to: North Davis Sewer District, Davis/Weber Canal Company, Questar Gas, Rocky Mountain Power, Qwest, Davis County School District, the US Postal Service and Utah Department of Transportation (if applicable)
- ✦ The applicant is to provide copies of comments from all applicable agencies to the City.
- ✦ Review and comments will be given to the applicant by the City Planner.
- ✦ Major changes will first be made by the applicant and then the subdivision will be placed on the next available Planning Commission Agenda.

**RE-ASSESSMENT OF PROCESSING FEES:**

Failure on the part of the developer, the developer's engineer / surveyor or other representative of the developer, to submit corrected drawings that have incorporated city staff comments, or appropriate comments of other agencies, may be subject to re-assessment of the processing fees.

**FAILURE TO APPEAR AT ADVERTISED PUBLIC HEARINGS:**

Unless previously cleared, in writing, by the Community Development Department, failure to appear at an advertised Public Hearing will result in the Re-Processing and Re-Advertising of another hearing causing significant delays to the processing of an application.

**RIGHT OF ENTRY:**

By signing this application I authorize City staff, with proper credentials, access to my property, during normal working hours, for the purpose of verifying the location of infrastructure, buildings, fences, and other features of or on the property here addressed. If City staff can not gain access to my property due to locked gates, animals within the area needing inspection, or if access to a structure is needed, I understand that I will be contacted and it will be my responsibility to schedule a time, during normal working hours, with the City staff member.

**COLLECTION OF FEES**

Should collection become necessary, I, Kyle Hamblin, hereby expressly agree to pay all costs of collection including an additional collection of 35% whether or not the account is turned to an outside collection agency. I further agree to pay all court costs and attorney's fees should legal action become necessary.

**JURISDICTION AND VENUE**

The terms and conditions within this agreement shall be governed by the laws of the State of Utah and shall be construed and interpreted in accordance with those laws. Any action or proceeding brought by either party which is based upon or derived from or in any way related to this agreement, shall be brought in a court of competent jurisdiction within the state of Utah. The parties hereto consent to their personal jurisdiction of said court.

Kyle Hamblin  
 Authorized Signature

8-9-16  
 Date

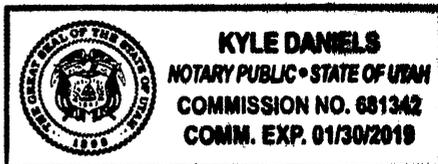
Kyle Hamblin  
 Print Name & Title

N/A  
 Corporation

Subscribed and sworn before me this 9 day of August 2016, in the county  
 of Davis State of Utah.

Kyle Daniels  
 Notary Public

1/30/2019  
 Commission Expires







# RESOLUTION NO. 13-16

## A RESOLUTION TO APPROVE AMENDING THE COUNTRY HOMES SUBDIVISION FINAL PLAT

**WHEREAS**, Section 3-4(4) of the Clinton City Subdivision Ordinance states that the City Council shall approve, modify and approve, or disapprove subdivision application by resolution; and,

**WHEREAS**, The Clinton City Planning Commission has reviewed the amendment to the final plat of the Country Homes Subdivision and recommended approval of the amended plat; and,

**NOW, THEREFORE, BE IT RESOLVED BY THE CLINTON CITY COUNCIL THAT THE AMENDED FINAL PLAT FOR THE COUNTRY HOMES SUBDIVISION IS HEREBY APPROVED WITH THE FOLLOWING FINDINGS, CONDITIONS AND STIPULATIONS:**

**SECTION 1.** By majority vote on a motion before the Clinton City Council an Amendment to the Final Plat of Country Homes Subdivision is (Approved) (Not Approved) based upon the following findings, conditions and/or stipulations:

- The Council concurs with the findings of the Clinton City Planning Commission.

**SECTION 2.** Reviewed in a public hearing the 20th day of September 2016, by the Clinton City Planning Commission and recommended for approval through a motion passed by a majority of the members of the Commission based upon the following findings and conditions.

- 1 It is the owner/developer/contractor's responsibility to comply with all Clinton City Standards, Ordinances, Staff, Engineer and requirements established during the approval process. Wherever there is a discrepancy between these drawings and City Standards the more stringent requirement will apply. If there is any doubt as to the requirement the developer is to seek clarification from the Community Development Department and obtain the determination in writing. Copies of the Standards are available at the Community Development Department.
- 2 Owner/developer/contractor agrees to keep vacant lot within the subdivision in such a way that weed control, via mowing with a brush hog or similar item, is possible.
- 3 The owner/developer/contractor is responsible for insuring that all required inspections are performed by the Clinton City Public Works Department and the Building Official, as needed.
- 4 It is the owner/developer/contractor's responsibility to insure adequate dust, trash and weed control practices are observed while any of the lot(s) are under their control.

AUGUST 27, 2016  
NOTICE PUBLISHED

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JACOB D. BRIGGS  
CHAIRMAN

**SECTION 3.** Effective date. This Resolution shall become effective upon signature and posting.

PASSED BY MOTION AND ORDERED PUBLISHED by the Council of Clinton City, Utah, this 11<sup>th</sup> day of October, 2016.

AUGUST 27, 2016  
NOTICE PUBLISHED

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L. MITCH ADAMS  
MAYOR

ATTEST:

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DENNIS W. CLUFF  
CITY RECORDER

Posted: \_\_\_\_\_



2063 N 2475 W

Google earth

1997

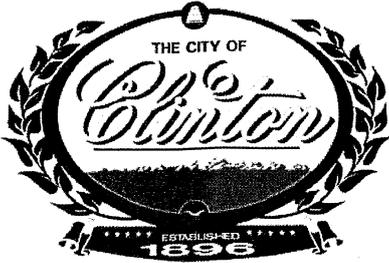
Imagery Date: 7/8/2016 41°08'37.58" N 112°04'25.87" W elev 4302 ft eye alt 4759 ft

# CLINTON CITY PLANNING COMMISSION AGENDA ITEM

<b>SUBJECT:</b> <b>7:25 p.m. Ordinance 16-02Z</b> - Review and recommend for Council action an amendment to Chapter 22 of the Clinton City Zoning Ordinance 28-22 for the Patio Home (PH) Zone by changing Section 4(6) Aesthetics, Table 22.4.6 Exterior by adding stucco as an approved building material for sides and rear areas of patio houses.	<b>AGENDA ITEM:</b>  <div style="text-align: center; font-size: 2em;">3</div>
<b>PETITIONER:</b> Bruce Nilson, Nilson Development	<b>MEETING DATE:</b> September 20, 2016
<b>ORDINANCE REFERENCES:</b> Zoning Ordinance 28-22-4(6) Aesthetics, Table 22.4.6.	<b>ROLL CALL VOTE:</b> <div style="display: flex; justify-content: space-around;"> <span>YES</span> <span>NO</span> </div>
<b>BACKGROUND:</b> Bruce Nilson, owner of Nilson Development has requested that stucco be added as an approved building material for the sides and rear areas of a house in the Patio Home (PH) Zone. The Building Official issued a statement that stucco is an approved building material for houses in other zones and did not express any objection to it being used on patio homes, though didn't want to grade the strength and quality of the various building materials being used for building houses throughout Clinton City or those designated for use in the Patio Home (PH) Zone.	
<b>ALTERNATIVE ACTIONS:</b>	
<b>ATTACHMENTS:</b> Ordinance 16-02Z Letter from Building Official	
<b>SEPARATE DOCUMENTS:</b>	

Respectfully submitted,

**Will Wright, Director**  
 Community Development



# Petition to Amend Clinton City Ordinances

Community Development

2267 North 1500 West

Clinton City, UT 84015

Phone: (801) 614-0740

Fax: (801) 614-0752

**Staff Use Only**

Date: 8-10-16

Zone: PH

PC Date: 9/6/16

CC Date: \_\_\_\_\_

The following check list is to be used to assist you in your application for changing of existing language within the Clinton City Zoning Ordinance.

**ORDINANCE TO BE CHANGED:**

- ZONING ORDINANCE
- SUBDIVISION ORDINANCE
- SIGN ORDINANCE
- CITY ORDINANCE

**PETITION CHECK LIST:**

- Provide an explanation of what portion of the ordinance you wish to change and why you feel a change would be in the best interest of the city at large.
- Provide any suggestions of what you feel the regulations of requirement should be changed to.
- Attach any information that you may have from other cities that have this similar requirement.
- Pay the appropriate application fee. (Fees are due at time of application)

I HAVE READ THE APPLICATION AND HEREBY CERTIFY THAT THE INFORMATION IS CORRECT TO THE BEST OF MY KNOWLEDGE.

(Signature of petitioner)

**PETITION TO AMEND THE ZONING ORDINANCE:**

I (we) the undersigned do respectfully request that the Clinton City Zoning Ordinance be amended by changing or eliminating the PH zone ordinance

(Give the zoning ordinance reference desired to be changed)

I (we) feel that the following amendment should be made: TABLE 22.4.6 INCLUDE STUCCO ON SIDES AND REAR OF HOME

(Attach additional pages as needed)

In requesting the amendment, the change is in the best interest of the general public for the following reasons: STUCCO IS USED ON ALMOST ALL HOMES CURRENTLY BEING BUILT. THESE HOMES ARE BEING BUILT FOR SENIORS. COST REDUCED BY \$5000

(Attach additional pages as needed)

In requesting the amendment, the change is consistent with the general plan of Clinton City for the following reasons: NO CHANGE TO THE GENERAL PLAN.

(Attach additional pages as needed)

Petitioner Name: Bruce L. Nilson - Homes  
 Address: 5617 So. 1475 E  
Ogden, Utah 84403

Telephone Number: 801 458 9995  
 Fax Number: 801 399-0802  
 e-mail: bruce@nilsonhomes.com

# ORDINANCE 16-02Z

## AN ORDINANCE AMENDING TITLE 28, CHAPTER 22, PATIO HOME ZONE (PH), CLINTON CITY ZONING ORDINANCE

**WHEREAS,** Clinton City has an existing Title 28, Chapter 22 dealing with the patio home zone; and

**WHEREAS,** Due to the direction in the General Plan the City Council desires to expand the allowable building material to the side and rear parts of a house; and

**WHEREAS,** Clinton City has an obligation to provide for the health, safety, and general welfare of its citizens;

**NOW THEREFORE,** BE IT ORDAINED BY THE CITY COUNCIL OF CLINTON CITY, DAVIS COUNTY, STATE OF UTAH

**BY MOTION** The Clinton City Council voted to amend this ordinance.

**SECTION 1.** Title 28, Chapter 22, Patio Home Zone (PH)

### **Chapter 22.**<sup>139, 195</sup> **Patio Home Zone (PH)**

- 28-22-1 Purpose
- 28-22-2 Permitted Uses
- 28-22-3 Conditional Uses
- 28-22-4 Minimum Lot Development
- 28-22-5 Homeowners Association Required
- 28-22-6 Application Process
- 28-22-7 Standards Conventional Site Development Characteristics

**28-22-1 Purpose.** The purpose of the Patio Home Zone is to provide an acceptable housing style for single family “empty nest” type housing that is a sustainable quality product within Clinton City. Additionally the Zone is intended for infill use within the guidelines established within this Title. Development within any subdivision within the Zone is to be based upon an overall site design created by and developed completely by one developer and home builder.

#### **28-22-2 Permitted Uses.**<sup>182</sup>

- (1) Single-family dwelling.
- (2) Home Office.
- (3) Household Pets.
- (4) Sign – One nameplate and identification sign in accordance with the Clinton City Sign Ordinance.
- (5) Accessory buildings and uses customarily incidental to any permitted use.
- (6) Common area and amenities maintained by the homeowners association.
- (7) Temporary on site storage containers for emergency construction or repair of residences, with the following stipulations:
  - (a) Must be placed on a hard surface.
  - (b) Can only be present for 3 months out of a 12 month period.

**28-22-3 Infill Site Development Characteristics.**<sup>195</sup>

(1) Use of this Zone is only permitted to be applied for within the R-1-6, R-1-8, and R-1-9 Zones as indicated on the Master Land Use Map.

(2) Infill will only be permitted on parcels meeting the following criteria:

- (a) Maximum of 18 acres;
- (b) Property can not have been subdivided from a larger parcel to meet requirements for this zone within the last ten (10) years;
- (c) Property surrounding the parcel being developed must be fully developed; and,

(3) Development requirements shall comply with the minimum lot standards outlined in § 28-22-4.

**28-22-4 Minimum Lot Development Standards.**

(1) Area –

- (a) Minimum: 5,100 square feet
- (b) Average: 6300
- (c) Corner minimum: 5,400 square feet

(2) Width –

- (a) Minimum: 57 feet
- (b) Average: 64 feet
- (c) Corner: 61 feet

(3) Yard Setback:

Dwelling Design	Rear Lot Patio	Side Lot Patio	Adjacent Zone
Front of Dwelling Major Street As Described in the Clinton City Transportation Master Plan	Not Allowed		
Front	20	20	20
Side w/o Side Patio	5 / 5		8 / 5
Side with Side Patio		5 / 16	8 / 16
Street Side	16 / 5	16 / 16	16 / 16
Street Side Patio toward street		21 / 5	
Rear	20	10	20
<u>Patio Awning Unenclosed</u>	Shall not extend into more than ½ of required setback		
<u>Patio Awning Enclosed</u>	Shall not extend into the required setback		
Accessory Building	The size and location of any accessory buildings or sheds shall be evaluated and approved during the approval process and shall be outlined in the development agreement and CC&R's. Otherwise none allowed.		

Note: 5-foot side lots can not be adjacent if fence is going to be part of the development design.

(4) Building Height:

Main Building	Story	1 story*
	Height	25 feet
Accessory Building	Minimum	6 feet
	Maximum	1 story or 15 feet

\* Habitable attic space permitted over garage. No alteration of roofline or dormers allowed.

(5) Building size:

TABLE 22.4.5	
Minimum Dwelling Unit Square Footage	1,430
Minimum Finished Living Space	1,430
Minimum Garage Size	2 car
Accessory Building	400 sq. ft. maximum

(6) Aesthetics:

TABLE 22.4.6		
Exterior	Front	100% Brick, Stone, or fiber cement board
	Sides	100% Brick, Stone, fiber cement board <i>or stucco</i>
	Rear	100% Brick, Stone, fiber cement board <i>or stucco</i>
Patio	Minimum	200 square feet
Landscaping and Automatic Sprinkler System		Installed with construction contract
Park strip trees		1 per frontage, 1.5 average per frontage
Fencing		Standardized within development
Architecture		Consistent theme among all structures

(7) Conventional Site Development Characteristics:

TABLE 22.4.7	
Maximum Acreage	18
Maximum Density/Acre	5
Maximum Lots	90
Public Streets	Public
Utilities	Public
Street Design	Standard City Design
Street Lights	City Design

**28-22-5 Homeowners Association Required:** All developments within the zone shall have a Homeowners Association established with Conditions, Covenants and Restrictions (CC&R's). CC&R's, at a minimum, are to establish the requirements of this Chapter, the Development Agreement and CC&R's shall be consistent between all phases of the development and apply equally to all property owners.

**28-22-6 Application Process.**

- (1) A rezone request shall be applied for on forms provided by the City and as outlined in Chapter 1 of this Title.
- (2) Rezone, if approved, shall be conditional upon final approval of a subdivision and development designs; and,
- (3) Subdivision and development design may be submitted simultaneous with the rezone application, however this will not have any bearing upon the approval or denial of the rezone application.

Any Patio Home development may create a development agreement during the approval process. If a development agreement is used, it will outline the design requirements and stipulations established between the developer and city. The agreement shall be recorded against the property and be binding upon the developer and future owners of property within the development.

**SECTION 2. Planning Commission Action.** Reviewed in a public hearing the 20th day of September 2016, by the Clinton City Planning Commission and recommended for approval through a motion passed by a majority of the members of the Commission based upon the following findings.

- Proposed changes expand allowable building materials to side and rear parts of house.
- Proposed changes do not adversely affect the effectiveness of the ordinance and are in line with the intent of the General Plan.

**SECTION 3.** Severability. In the event that any provision of this Chapter is declared invalid for any reason, the remaining provisions shall remain in effect.

**SECTION 4.** Effective date. This ordinance shall be recorded and become effective upon the date of posting indicated below.

**PASSED AND ORDERED RECORDED AND POSTED** by the Council of Clinton City, Utah, this 11<sup>th</sup> day of October, 2016.

August 27, 2016 \_\_\_\_\_  
NOTICE PUBLISHED

\_\_\_\_\_  
L. MITCH ADAMS  
MAYOR

ATTEST:

\_\_\_\_\_  
DENNIS W. CLUFF  
CITY RECORDER

Posted: \_\_\_\_\_