

PLANNING COMMISSION

2267 North 1500 West
Clinton City, UT 84015

Phone: (801) 614-0740

Fax: (801) 614-0752

Web Site: www.clintoncity.net

*Clinton City
Planning Commission*

*Chairman
Jacob Briggs*

*Vice Chairman
Bob Buckles*

*Members
David Coombes
Jolene Crossall
Andy Hale
Jeff Ritchie
Anthony O. Thompson*

*City Staff
Will Wright*

AGENDA

October 18, 2016

7:00 pm

There will be a meeting of the Clinton City Planning Commission held on the date mentioned above in the **Council Chambers** of Clinton City; **City Hall located at 2267 North 1500 West.**

	Pledge	Appointed
	Invocation or Thought	Appointed
	Roll Call	Chair
	City Council Report	Staff
	Planning Commission Minutes for September 6, 2016	Chair
	Declaration of Conflicts	Chair
1.	PUBLIC HEARINGS: 7:05 p.m. -- Review and action upon a request from the Wright Development Group represented by Spencer Wright for a Site Plan Review to construct a commercial center comprised of four (4) stores in the Park Plaza Subdivision located at 1934 N 2000 W, Clinton.	
2.	WORK SESSION: Review and consider changes to Chapter 28 – 4, Assurance for Completion and Maintenance of Improvements in the City’s Subdivision Ordinance as well as any other chapters or sections of this ordinance.	
3.	COMMISSIONER COMMENTS	
4.	ADJOURN	
<p>THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY MEETINGS</p> <p>If you need a special accommodation to participate in the meeting, please contact Will Wright at (801) 614-0740, in the Clinton City Community Development Department at least three (3) working days prior to the meeting.</p>		

**CLINTON CITY
PLANNING COMMISSION
AGENDA ITEM**

<p>SUBJECT: 7:05 p.m. – Review and take action upon a request from Wright Development Group, represented by Spencer Wright, for a Site Plan Review to construct retail commercial buildings for various tenants at the Park Plaza Subdivision located at 1978 North 2000 West, Clinton.</p>	<p>AGENDA ITEM: 1</p>
<p>PETITIONER: Wright Development Group, represented by Spencer Wright</p>	<p>MEETING DATE: October 18, 2016</p>
<p>ORDINANCE REFERENCES: Section 28-19-5 – Public Hearing Required indicates, “... a site plan review by the Planning Commission will be required ...” Attached is a Architectural Design Review form found in Section 28-20-1 table 20.1 with subsection (6) going over the Design Review Procedures. In addition, Section 28-20-4 Commercial Design Objectives reviews 12 design criteria for Commissioners’ to score this form for the meeting.</p>	<p>ROLL CALL VOTE: YES <input type="checkbox"/> NO</p>
<p>BACKGROUND: This proposed commercial center is a part of the Park Plaza Subdivision that is zoned Performance Zone (PZ) and located in the City’s Central Business District (chapter 20). Several commercial pads in this subdivision were previously developed including, Pad E consisting of Cost Vida, Jimmy Johns, et cetera. This proposed commercial development adds 64,528 square feet to an existing 6,600 square feet to Pad E totaling 71,128 square feet. This new center will house four stores, namely: Ross, Deseret Book, Downeast and Petco.</p> <p>These stores are located north of pad E with this site having 352.5 linear feet of frontage on 2000 West that increases to 630 feet, when combined with pad E, along 2000 West. Access to this site will be from a driveway north of these commercial pads off of 2000 West as well as a driveway just south of pad E from 2000 West. There is an extensive interior driveway through this commercial complex that is served by five (5) driveways (3 from 2000 West and 2 off of 1800 N). Parking totals 266 spaces and though the buildings total 71,128 square feet the actual retail space is only 53,346 or 75% and calculates to 266.7 spaces needed for these buildings, which is a very minor difference from what is proposed.</p> <p><u>Site Plan</u> The Site Plan blends well with Pad E housing the Costa Vida, Jimmy Johns, etc. and the surrounding stores from an aesthetic theme. Both an irrigation and landscape plan was provided that shows extensive planting along 2000 West or the western facade and in the landscape islands in the parking lot. This commercial pad has 352.5 feet linear frontage with a depth of about 473 feet. The frontage increases to about 630 feet along 2000 West when added to existing Pad E.</p> <p><u>Building Design</u> The building is about 187 feet facing 2000 West and about 412 feet wide from the front that faces south to the parking lot. The building appears to have a flat roof that shields any mechanical equipment and is broken up on average every 20+ feet with depth, dimension and texture provided by bump outs, etc. These details will receive greater review as staff has more time to look at the building construction plans.</p>	
<p>RECOMMENDATION/ALTERNATIVE ACTIONS: Staff would recommend preliminary approval of both the proposed site plan, including the landscape plan, and the building with the stipulations that applicant complete any staff comments.</p>	
<p>ATTACHMENTS: Site Plan Approval for Planning Commission consideration and chairman’s signature Architectural Design Review – Points Evaluation for Commissioners’ to consider for this proposed development</p>	
<p>SEPARATE DOCUMENTS:</p>	

Respectfully Submitted, Will Wright, Community Development Director



Site Plan Review Application
Community Development
2267 North 1500 West
Clinton City, UT 84015
Phone: (801) 614-0740
Fax: (801) 614-0752
Web-site: clintoncity.net

Staff Use Only Date: 9/27/14 Zone: PZ PC Date: ~~10/19/14~~
10/19/14

PROJECT NAME: ROSS JR. ANCHOR TENANTS
PROJECT ADDRESS: 1978 N. 2000 W.
(ADDRESS MUST BE ASSIGNED BY THE PLANNING PRIOR TO SUBMITTAL, IF APPLICABLE)

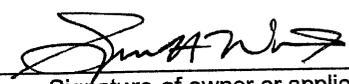
PROPOSED USE / DESCRIPTION: Retail-commercial buildings for various tenants.

CONTACT NAME: Spencer Wright
ADDRESS: 1178 W Legacy Crossing Blvd Suite 100, Centerville, UT 84014
PHONE# 801 773-7339 FAX # _____ E-MAIL: spencer@wrightdevelopmentgroup.net

Engineer and/or Surveyor: Andy Hubbard
PHONE# 801 521-0222 FAX # _____ E-MAIL: andyh@greatbasineng.com

OWNER'S NAME: (if different from contact person) Spencer Wright

I HAVE READ THE APPLICATION AND HEREBY CERTIFY THAT THE INFORMATION IS CORRECT TO THE BEST OF MY KNOWLEDGE.


Signature of owner or applicant

- SUBMITTAL CHECK LIST:**
The following checklist can be used as a guide to assist you in obtaining City approval.
- Seven (7) site plans; Six (6) copies at 24" x 36" and one (1) copy at 11" x 17" (see check list 1-24 on back of page);
 - Copy of county ownership plat
 - One (1) copy of the Storm Water Pollution Prevention Plan (SWPPP)
 - Payment of appropriate fees. (Check with the Community Development Department)
 - Plans also need to be submitted to the following agencies: (approval letters from each agency is needed before construction can begin)
 - Davis Weber Canal Company (secondary water)
 - Rocky Mountain Power
 - Questar
 - For new construction, building additions, or when the site does not meet present site development requirements, the following are also required.
 - A. Building elevations of all four sides one (1) copy on 24" x 36" and one (1) on 8.5" x 11", including a 3-D model, preferably using "Google Sketch-up" or similar, in digital format.
 - B. "Material/Color board" of the types of materials proposed to be used on the building,
 - C. Preliminary utility plan showing the manner in which water, sewer and storm sewer services will be provided
 - D. A landscaping plan, which shows areas to be landscaped, specific types of landscaping to be used (i.e. trees, shrubs and grass), and areas to be preserved in their existing conditions, and an irrigation plan.

SITE PLAN REVIEW APPROVAL PROCESS:

1. Submit petition to Clinton City Planning Department for review. Planning Staff is located in the City Hall Building, within the Community Development Department located at 2267 North 1500 West.
2. One Copy of the Site Plan will be submitted to: Fire, Engineering, Public Works (Sewer, Water, etc.) and Planning.
3. The applicant will also need to provide additional copies to: Davis / Weber Canal Company, Questar, Qwest, Rocky Mountain Power, US Postal Service, North Davis Sewer District (if applicable) and Utah Department of Transportation (if applicable)
4. The applicant is to provide copies of all comments given them by any of the above mentioned companies.
5. Petitions are placed on the next available Planning Commission Agenda and the petitioner is notified of the time and date of the Public Hearing.
6. The applicant or a representative must be present during each meeting in order for the Planning Commission to act upon the petition. If the applicant is not present, the item will be tabled to the next available meeting. Failure to show will require a re-advertising of the item, which must be paid for by the applicant prior to its placement on the next agenda.
7. Additional questions regarding the above process may be directed to the Clinton City Planning Staff at 614-0740

SIGNAGE:

Before you put up a sign you need to check with the Planning Department and Building Services for regulations. A separate permit is required for signage.

FINANCIAL GUARANTEE FOR LANDSCAPING:

Prior to building permits being issued, the development is required to provide a financial guarantee for required improvements. The financial guarantee MUST be an escrow with a financial institution. The financial guarantee requires:

1. The establishment of the escrow for 115% of the established materials and labor costs for installing the improvements.
2. Upon completion and inspection of the improvements, Clinton City will release the escrow amount. However, 15% of the original escrow must be retained with the City for a period of two (2) years as a warranty for the improvements. Upon completion of the two (2) year warranty period, the remaining amount will be released.
 - a. A financial guarantee shall be established for all landscaping of public or private property (plants, irrigation system, grass, fencing, etc..)

RE-ASSESSMENT OF PROCESSING FEES:

Failure on the part of the developer, the developer's engineer / surveyor or other representative of the developer, to submit corrected drawings that have incorporated city staff comments, or appropriate comments of other agencies, may be subject to re-assessment of the processing fees.

FAILURE TO APPEAR AT ADVERTISED PUBLIC HEARINGS:

Unless previously cleared, in writing, by the Community Development Department, failure to appear at an advertised Public Hearing will result in the Re-Processing and Re-Advertising of another hearing causing significant delays to the processing of an application.

PROPERTY IDENTIFICATION:

Total Area (acres or square feet): 5.373 acres

Tax ID Number: 14-479-0013

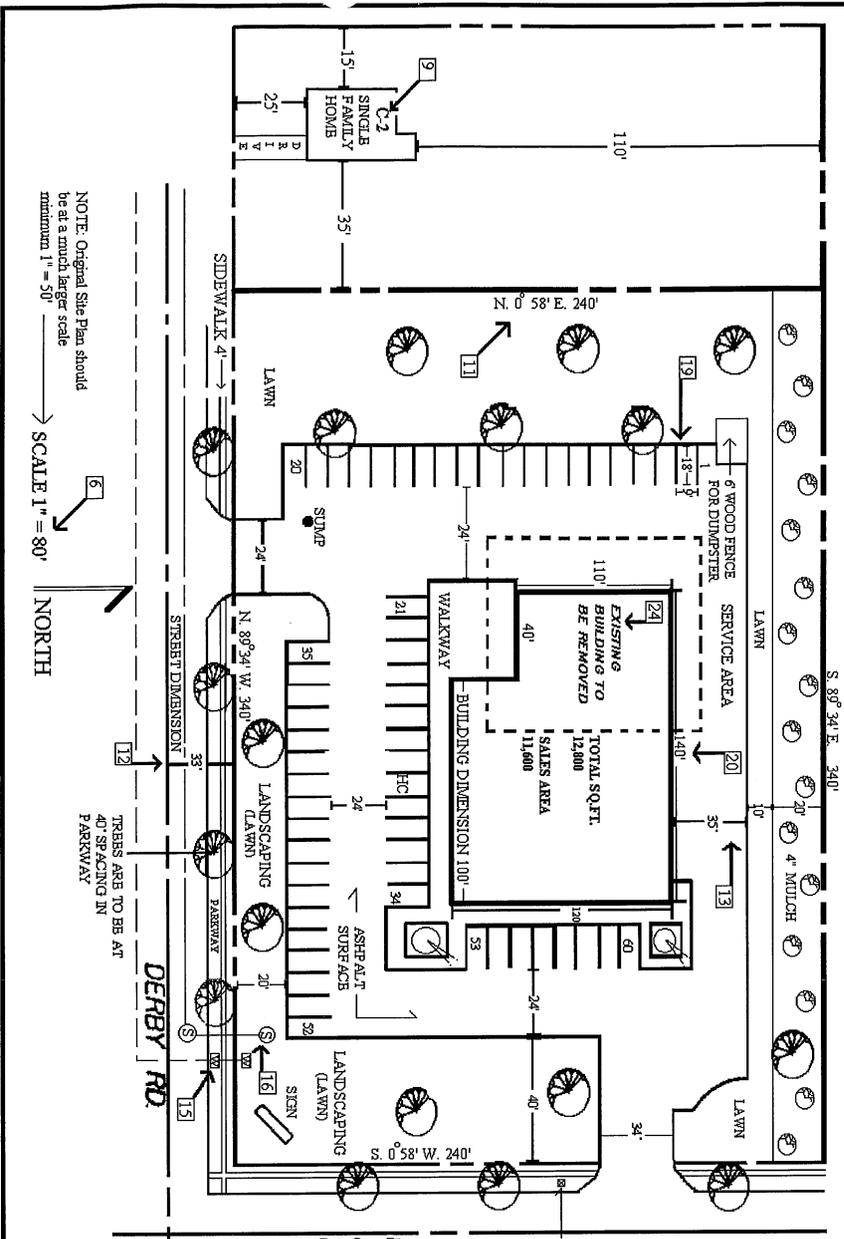
RIGHT OF ENTRY:

By signing this application I authorize City staff, with proper credentials, access to my property, during normal working hours, for the purpose of verifying the location of infrastructure, buildings, fences, and other features of or on the property here addressed. If City staff can not gain access to my property due to locked gates, animals within the area needing inspection, or if access to a structure is needed, I understand that I will be contacted and it will be my responsibility to schedule a time, during normal working hours, with the City staff member.

Pd - 1,765.28 9/27/14 - receipt # 2-222038

CHECK LIST FOR SITE PLAN REVIEW (1-24)

- 1 Name of the proposed development.
- 2 Name & address of owner of property.
- 3 Name and address of the preparer of the site plan.
- 4 A statement describing the intended use of the development.
- 5 A vicinity map oriented in the same direction as site plan.
- 6 A north arrow & scale (not less than 1:50).
- 7 The tax ID number of the development site.
- 8 The land use & zoning of the development site.
- 9 Adjacent land use & zoning.
- 10 Identify the percentage of property covered by buildings and hard surface.
- 11 A valid & accurate legal description of the property. Property lines shall be shown with bearings & dimensions.
- 12 Adjacent streets shall be shown and identified, along with distance from centerline to property.
- 13 Building setbacks and distances.
- 14 Easements on property & on abutting property that could be affected by the development shall be shown including plat book & page.
- 15 Off-site water service shall be shown, along with proposed service lateral & meter location.
- 16 Off-site sewer service shall be shown, along with proposed service lateral & cleanout locations.
- 17 Grease trap locations, sizes & construction information.
- 18 Fire hydrant location & distance from hydrant to bldg.
- 19 Parking info.: a.) parking calculations indicating the # of required regular & H.C. spaces. b.) dimensions of parking angles c.) vehicle stacking for drive-through uses.
- 20 The geometric layout & dimensions of proposed buildings, driveways, parking areas, loading areas, signs, structures & other physical features of the development.
- 21 A landscape plan is required.
- 22 A grading & drainage plan is required.
- 23 Elevation drawings depicting architectural theme, building features, materials & colors is required.
- 24 Existing structures which will be removed from the site.



SITE PLAN REQUIREMENTS

	sq. ft.	%
Total Parcel Area	81,600	
Building Coverage	12,800	15.7
Asphalt Coverage	54,928	67.3
Landscaping	13,872	17.0
Existing Zoning	C-2	
Parking Stalls Required	58	
Parking Stalls Shown	60	
Landscaping Type		
Existing Elevations		
Proposed Elevations		
Land Use		

- EMERALD
- ARBORVITAE
- REDMOND
- LINDEN
- SPRING
- SNOW CRAB

NAME OF TENANT
Applicant: B.B. BAGINS
Address: 405 Acadia Ave. Ogden (NEW BUILDING)
Engineer: P.C. CONST
Address: 12 Penn Ave. Ogden
Architect: D.BAILEY & ASSOC.
Address: 313 Bass Dr. Ogden

TAX ID #06-999-9999
SALLY'S BOUTIQUE
Phone: 393-3003

Phone: 399-9001
Phone: 621-4111

SAMPLE SITE PLAN

NOTE: Original Site Plan should be at a much larger scale minimum 1" = 50'

SCALE 1" = 80'

CLINTON CITY CORPORATION

Community Development

2267 North 1500 West

Clinton UT 84015

INVOICE

Phone: 801-614-0740

Fax: 801-614-0752

Date	Number	Page
09/27/2016	1037	1

Bill To: WRIGHT DEVELOPMENT
 1178 W LEGACY CROSSING BLVD STE 100
 CENTERVILLE UT 84014

Re: ZONING

Terms: Net 30 Days

Due Date: 09/27/2016

Quantity	Description	Unit Price	Net Amount
1	SITE PLAN REVIEW - ROSS JR. ANCHOR TENANTS	1,700.00	1,700.00
0	PER ACRE FEE .373	175.00	65.28

Make all checks payable to: Clinton City
 Mail: ATTN: Community Development
 If you have any questions concerning this invoice, call: Community
 Development, 801-614-0740

THANK YOU FOR YOUR BUSINESS

Amount 1,765.28

Balance Due 1,765.28

PAID

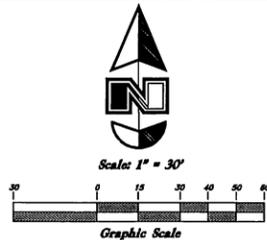
CK. NO. 1113
 DATE 9/27/16

- General Site Notes:
1. Stalls designated as handicap will require a painted handicap symbol. (See Details)
 2. Fire lane markings and signs to be installed as directed by the Fire Marshall.
 3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
 4. See Horizontal Control plan for coordinates, radiuses and detailed dimensions of site improvements.
 5. Building sidewalks, ramps, and bollards are building contractor responsible items. See architectural plans.
 6. All dimensions are to back of curb unless otherwise noted.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

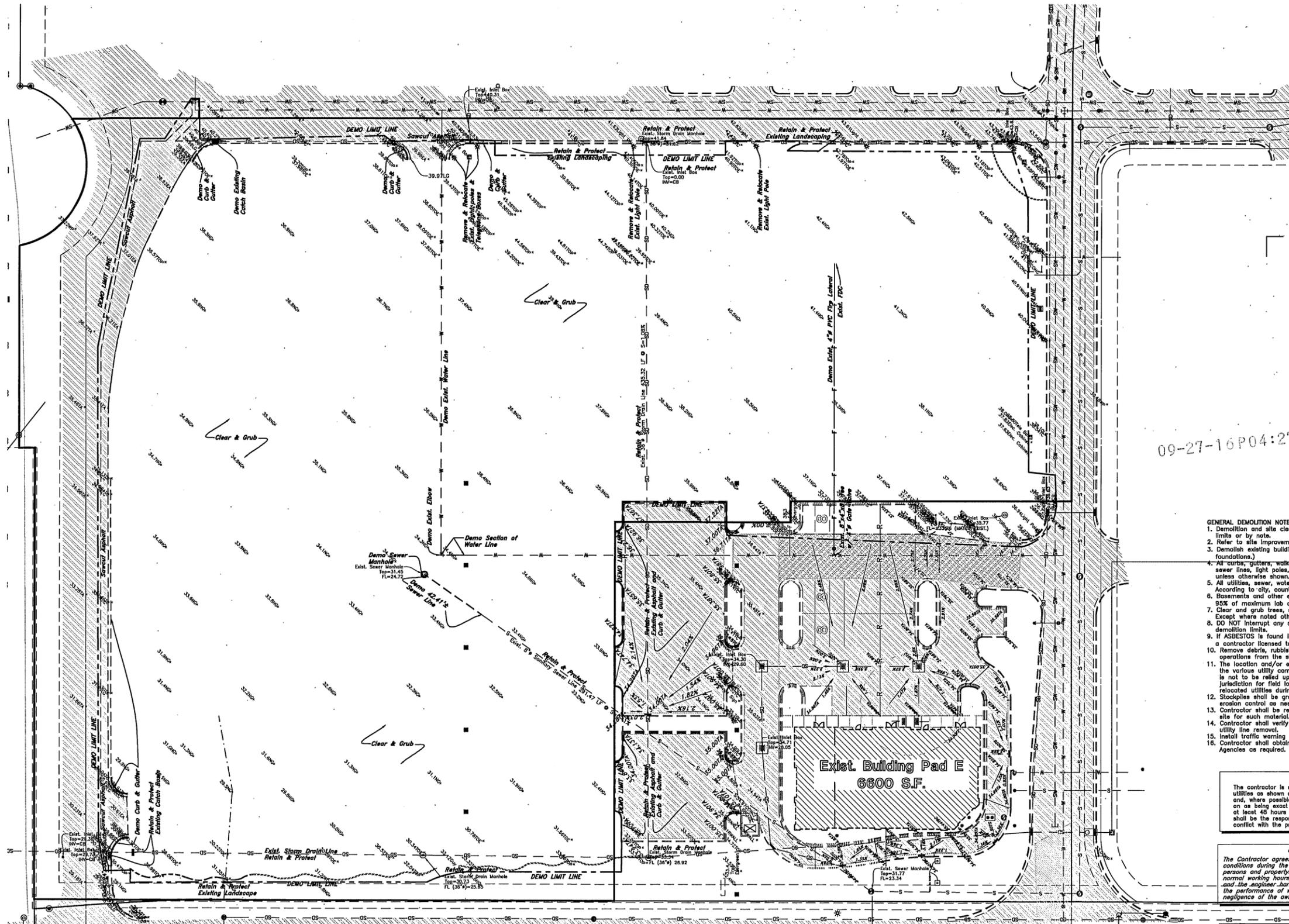
ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY



Legend

(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Overhead Telephone Line
- Underground Telephone Line
- Secondary Waterline
- Underground Power Line
- Overhead Power Line
- Fire Line
- Land Drain
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Concrete
- Open Face Curb & Gutter



09-27-16P04:27 CFMD

- GENERAL DEMOLITION NOTES:**
1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
 2. Refer to site improvement plans for more details on limits of removal.
 3. Demolish existing buildings and clear from site. (Including removal of all footings and foundations.)
 4. All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures to be cleared from site unless otherwise shown.
 5. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped. According to city, county and utility company requirements, unless otherwise shown.
 6. Basements and other excavated areas to be backfilled with clean granular material compacted to 95% of maximum job density as determined by ASTM D 1557-76. (Test results to be given to owner)
 7. Clear and grub trees, shrubs, and vegetation within construction limits, disposal to be off-site. Except where noted otherwise.
 8. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
 9. If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by a contractor licensed to handle asbestos materials. (Not a part of contract)
 10. Remove debris, rubble, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
 11. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
 12. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
 13. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
 14. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
 15. Install traffic warning devices as needed in accordance with local standards.
 16. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.

CAUTION NOTICE TO CONTRACTOR

The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

GREAT BASIN ENGINEERING

5746 SOUTH 1475 EAST OGDEN, UTAH 84403
 MAIN (801)594-4451 S.L.L.C (801)521-0222 FAX (801)392-7544
 WWW.GRETBASINENGINEERING.COM

Demo Plan

Park Plaza Subdivision

A part of the Northwest 1/4 of Section 27
 T5N, R2W, S1&2E, U.S. Survey
 Clinton City, Davis County, Utah

27 Sept. 2016

SHEET NO.

CO.00

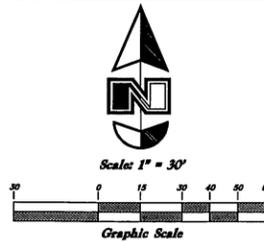
08N327

- General Site Notes:
1. Stalls designated as handicap will require a painted handicap symbol.
 2. Fire line markings and signs to be installed as directed by the Fire Marshall.
 3. (See Details)
 4. Fire line markings and signs to be installed as directed by the Fire Marshall.
 5. Alley markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
 6. See Horizontal Control plan for coordinates, readouts and detailed dimensions of site improvements.
 7. Building sidewalks, ramps, and bollards are building contractor responsible items. See architectural plans.
 8. All dimensions are to back of curb unless otherwise noted.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

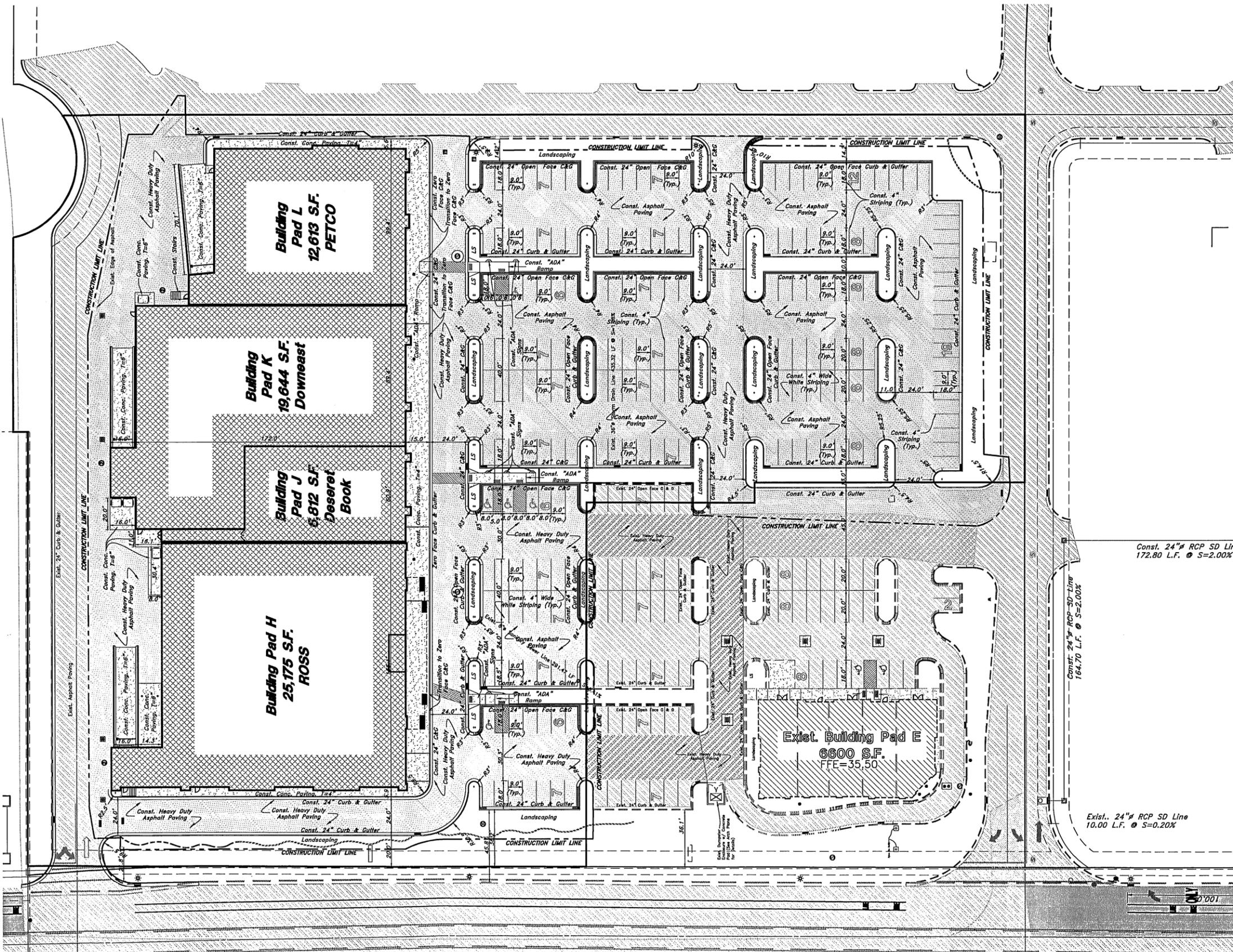
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY



Legend

- (Note: All items may not appear on drawing)
- San. Sewer Manhole
 - Water Manhole
 - Storm Drain Manhole
 - Electrical Manhole
 - Catch Basins
 - Exist. Fire Hydrant
 - Fire Hydrant
 - Exist. Water Valve
 - Water Valve
 - Sanitary Sewer
 - Culinary Water
 - Gas Line
 - Irrigation Line
 - Storm Drain
 - Overhead Telephone Line
 - Underground Telephone
 - Secondary Waterline
 - Underground Power Line
 - Overhead Power Line
 - Fire Line
 - Land Drain
 - Power pole
 - Power pole w/guy
 - Light Pole
 - Fence
 - Flowline of ditch
 - Corrugated Metal Pipe
 - Concrete Pipe
 - Reinforced Concrete Pipe
 - Ductile Iron
 - Polyvinyl Chloride
 - Top of Asphalt
 - Edge of Asphalt
 - Centerline
 - Flowline
 - Finish Floor
 - Top of Curb
 - Top of Wall
 - Top of Walk
 - Top of Concrete
 - Finish Contour
 - Exist. Contour
 - Finish Grade
 - Exist. Grade
 - Ridge Line
 - Direction of Flow
 - Existing Asphalt
 - New Asphalt
 - Heavy Duty Asphalt
 - Concrete
 - Open Face Curb & Gutter



Const. 24" RCP SD Lin
172.80 L.F. @ S=2.00%

Const. 24" RCP SD-Line
164.70 L.F. @ S=2.00%

Exist. 24" RCP SD Line
10.00 L.F. @ S=0.20%

GREAT BASIN ENGINEERING

5746 SOUTH 1475 EAST OGDEN, UTAH 84403
 MAIN (801) 394-4515 S.L.C (801) 521-0222 FAX (801) 592-7544
 WWW.GREATBASINENGINEERING.COM

Site Plan

Park Plaza Subdivision

A part of the Northwest 1/4 of Section 27
 15N, 22W, SLB&M, U.S. Survey
 Clinton City, Davis County, Utah

27 Sept. 2016

SHEET NO.

C1.00

06N327

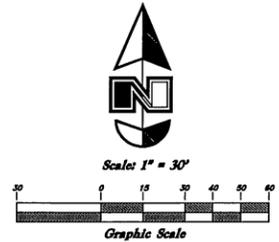
- General Grading Notes:**
- All work shall be in accordance with the City Public Works Standard.
 - Cut slopes shall be no steeper than 2 horizontal to 1 vertical.
 - Fill slopes shall be no steeper than 2 horizontal to 1 vertical.
 - Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by the geotechnical engineer.
 - Areas to receive fill shall be properly prepared and approved by the City Inspector and geotechnical Engineer prior to placing fill.
 - Fills shall be benched into competent material as per specifications and geotechnical report.
 - All trench backfill shall be tested and certified by the site geotechnical engineer per the grading code.
 - A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
 - The final compaction report and certification from the geotechnical engineer shall contain the type of field testing performed. Each test shall be identified with the method of the test, in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
 - Dust shall be controlled by watering.
 - The location and protection of all utilities is the responsibility of the permittee.
 - Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project.
 - All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the city engineer.
 - The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
 - The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
 - Aggregate base shall be compacted per the geotechnical report prepared for the project.
 - Elevations shown on this plan are finish grades. Rough grades are the subgrades of the improvements shown hereon.

- The recommendations in the following Geotechnical Engineering Report by AGECE are included in the requirements of grading and site preparation. The report is titled "GEO-TECHNICAL INVESTIGATION".
Job No.: 1060488 Address: 1412 South Legend Hills Drive, Suite 327
Dated: June 15, 2008 Clearfield, Utah 84015
 - As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
 - Erosion Control: Protect all inlet boxes, catch basins, etc. with straw bales or other approved method to strain the storm water during construction. Protect surrounding properties and streets from site runoff with sandbags and earth berms.
- Curb and Gutter Construction Notes:**
- Open face gutter shall be constructed where drainage is directed away from curb.
 - Open face gutter locations are indicated by shading and notes on the grading plan.
 - It is the responsibility of the surveyor to adjust top of curb grades at the time construction staking.
 - Refer to the typical details for a standard and open face curb and gutter for dimensions.
 - Transitions between open face and standard curb and gutter are to be smooth. Hand form these areas if necessary.

BLUE STAKES
Call: TOLL FREE
1-800-662-4111
TWO WORKING DAYS BEFORE YOU DIG

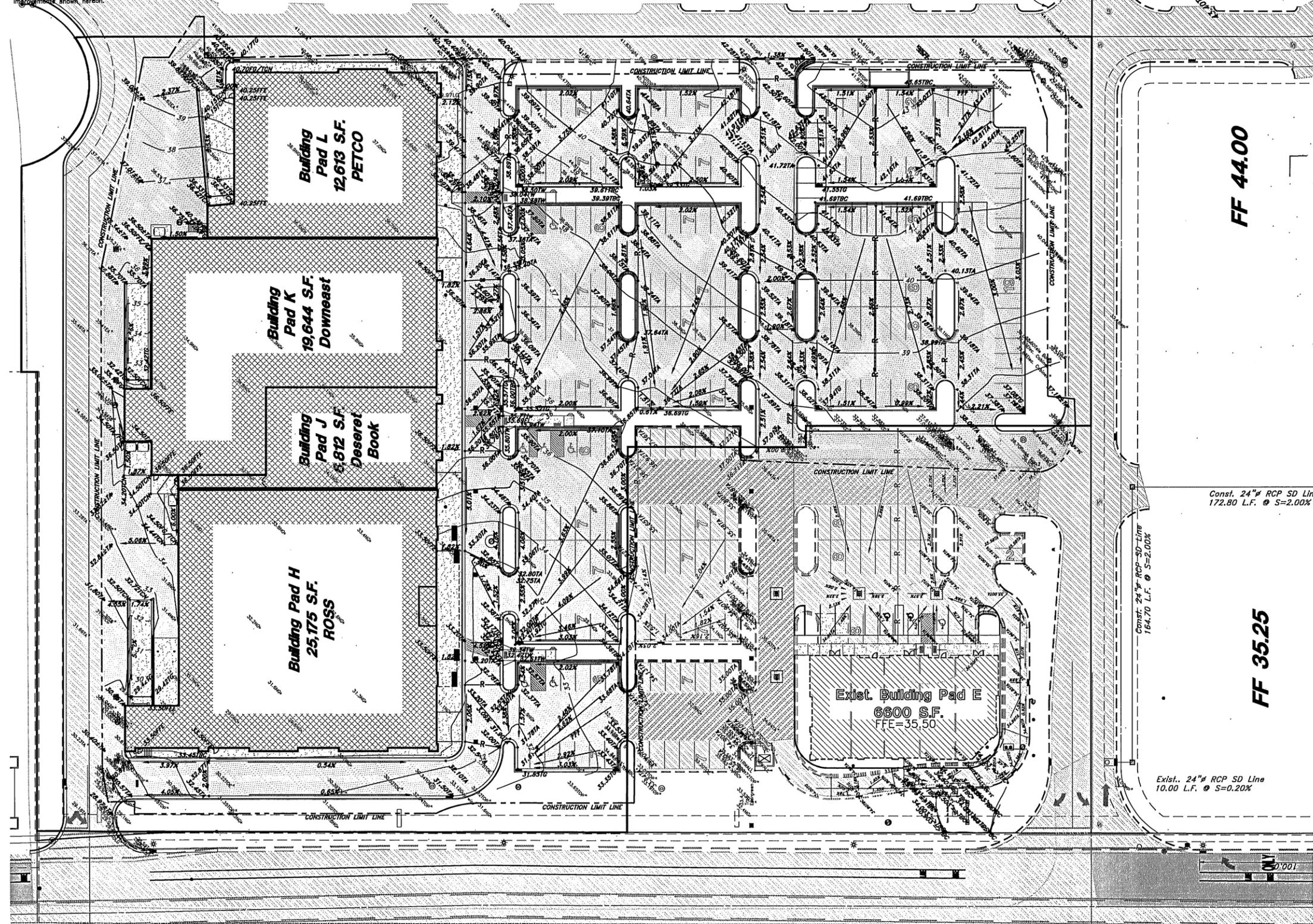
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ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY



Legend
(Note: All items may not appear on drawing)

San. Sewer Manhole	⊙
Water Manhole	⊙
Storm Drain Manhole	⊙
Electrical Manhole	⊙
Catch Basins	⊙
Exist. Fire Hydrant	⊙
Fire Hydrant	⊙
Exist. Water Valve	⊙
Water Valve	⊙
Sanitary Sewer	—
Culinary Water	—
Gas Line	—
Irrigation Line	—
Storm Drain	—
Overhead Telephone Line	—
Underground Telephone	—
Secondary Waterline	—
Underground Power Line	—
Overhead Power Line	—
Fire Line	—
Land Drain	—
Power pole w/guy	—
Light Pole	—
Fence	—
Flowline of ditch	—
Corrugated Metal Pipe	CMP
Concrete Pipe	CP
Reinforced Concrete Pipe	RCP
Ductile Iron	DI
Polyvinyl Chloride	PVC
Top of Asphalt	TA
Edge of Asphalt	EA
Centerline	CL
Finish Floor	FF
Top of Curb	TC
Top of Wall	TW
Top of Walk	TW
Top of Concrete	TCN
Finish Contour	—90—
Exist. Contour	95.337A
Exist. Grade	95.337A
Ridge Line	—R—
Direction of Flow	—>—
Existing Asphalt	▨
New Asphalt	▩
Heavy Duty Asphalt	▧
Concrete	▤
Open Face Curb & Gutter	▬



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Grading & Drainage Plan

Park Plaza Subdivision

A part of the Northwest 1/4 of Section 27
Clinton City, Davis County, Utah

27 Sept. 2016

SHEET NO.

C2.00

06N327

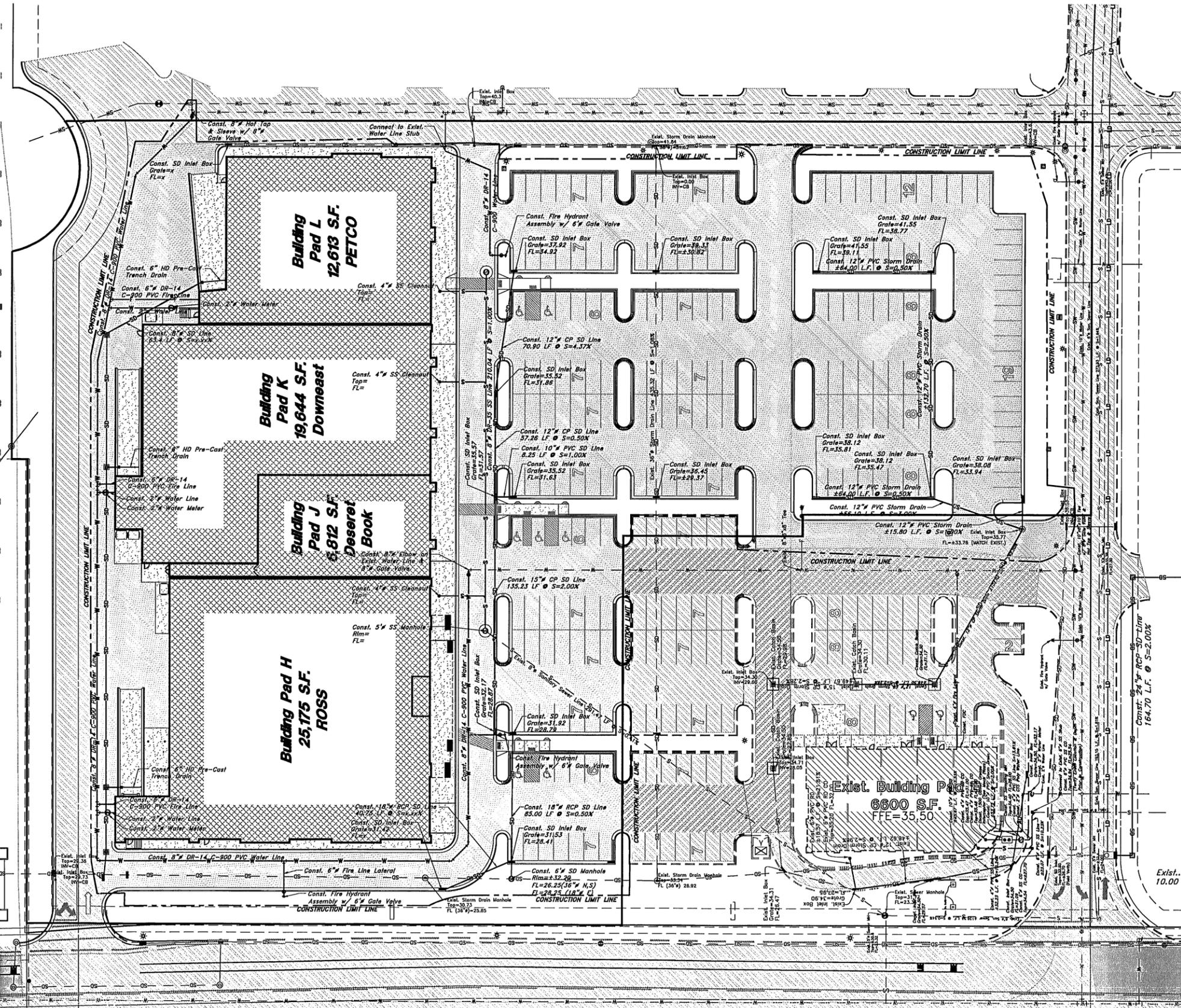
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
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BLUE STAKES
 Call: TOLL FREE
 1-800-662-4111
 TWO WORKING DAYS BEFORE YOU DIG

ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

Scale: 1" = 30'
 Graphic Scale
Legend
 (Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
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- Top of Curb
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- Exist. Grade
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- Existing Asphalt
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- Open Face
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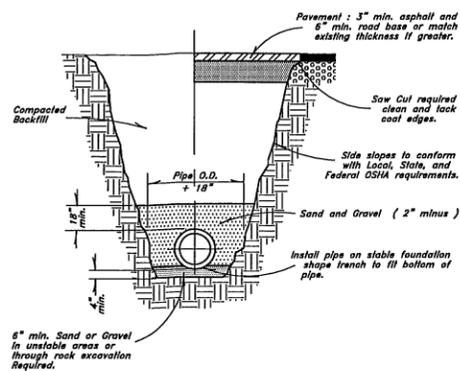


- General Utility Notes:**
- Coordinate all utility connections to building with plumbing plans and building contractor.
 - Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
 - All catch basin and inlet box grates are to be bicycle proof.
 - All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
 - Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
 - Gas lines, telephone lines, and cable TV lines are not a part of these plans.
 - Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
 - Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown.
- Contractor**
 is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spots to proper grade.
- 9. Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.**
- Utility Piping Materials:**
 All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.
- Culinary Service Laterals**
- 3/4" to 1 1/2" diameter pipe - GTS Poly tubing
 - 3" diameter pipe - copper tube ASTM B, Type K, Soft Temper
 - 4" diameter pipe and over - Polyvinyl Chloride (PVC) C-900
- Water Main Lines and Fire Lines**
- Pipe material as shown on utility plan view or to meet city standards.
- Sanitary Sewer Lines**
- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35
- Storm Drain Lines**
- 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
 - 12" to 15" pipes - Concrete Pipe, ASTM C76, Class II
 - 18" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class II

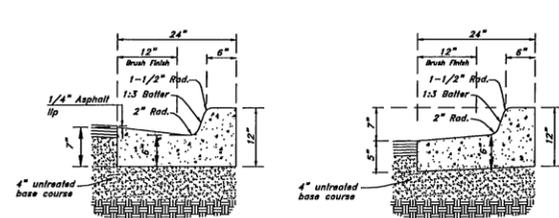
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Utility Plan
Park Plaza Subdivision
 A part of the Northwest 1/4 of Section 27
 T5N, R2W, S18&M, U.S. Survey
 Clinton City, Davis County, Utah

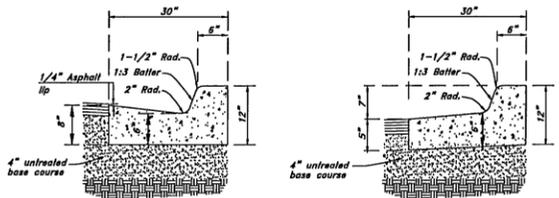
27 Sept. 2016
 SHEET NO.
C3.00
 06N327



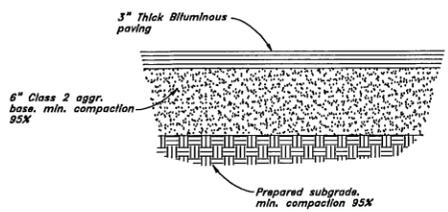
Typical Trench Detail



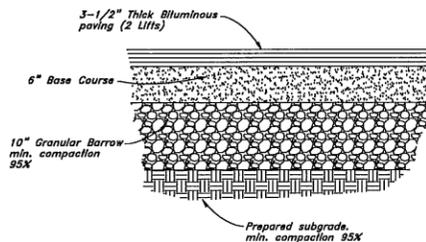
Typical Section - 24\"/>



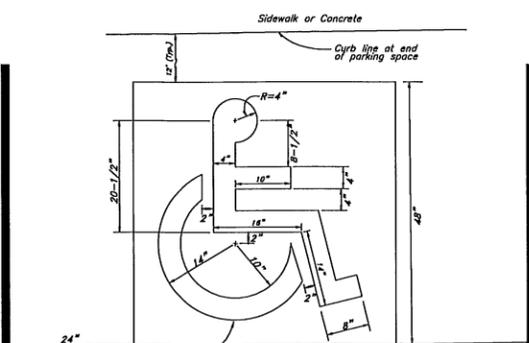
Typical Section - 30\"/>



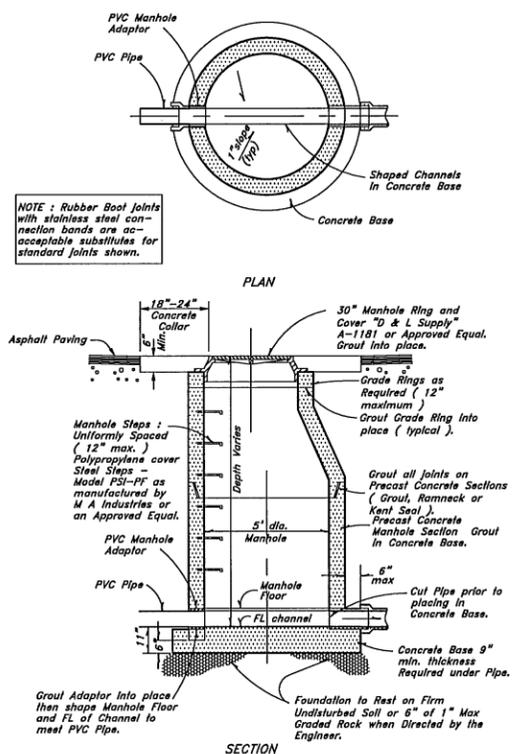
Typical Bituminous Pavement Section Parking Areas



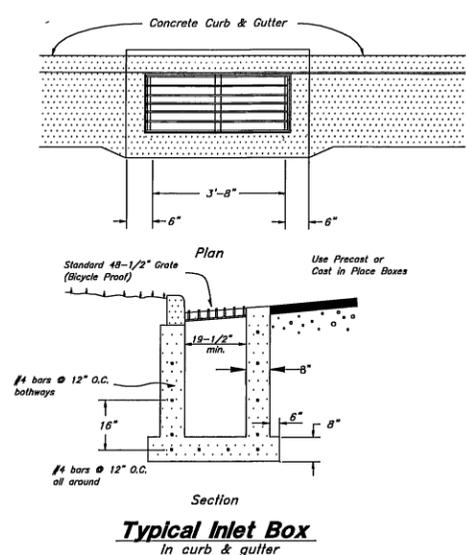
Typical Bituminous Pavement Section Heavy Duty Drive Lanes



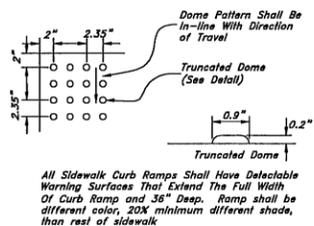
Handicap Symbol



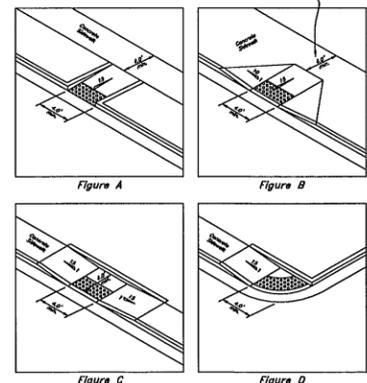
Typical Manhole Detail



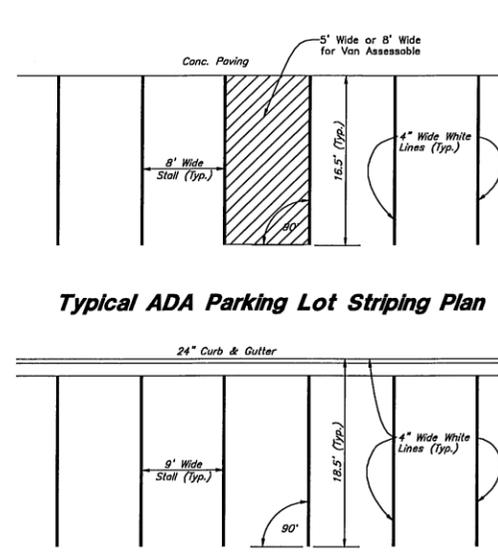
Typical Inlet Box



All Sidewalk Curb Ramps Shall Have Detectable Warning Surfaces That Extend The Full Width Of Curb Ramp and 36\"/>



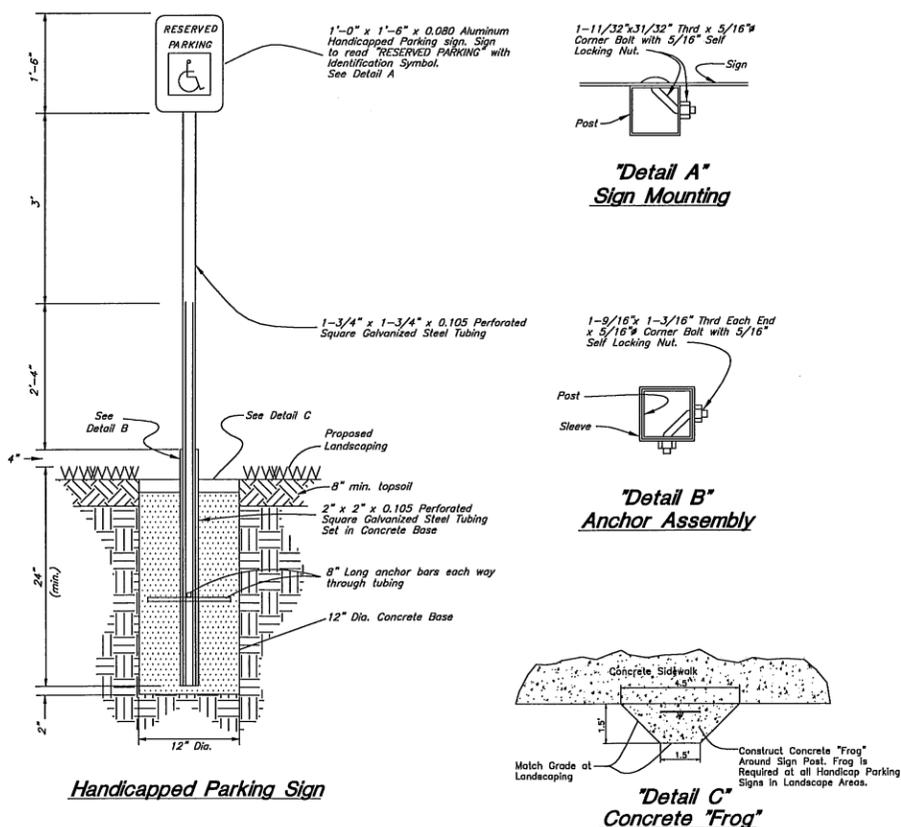
Typical ADA Ramp Detail



Typical ADA Parking Lot Striping Plan



Typical Parking Lot Striping Plan



Handicapped Parking Sign

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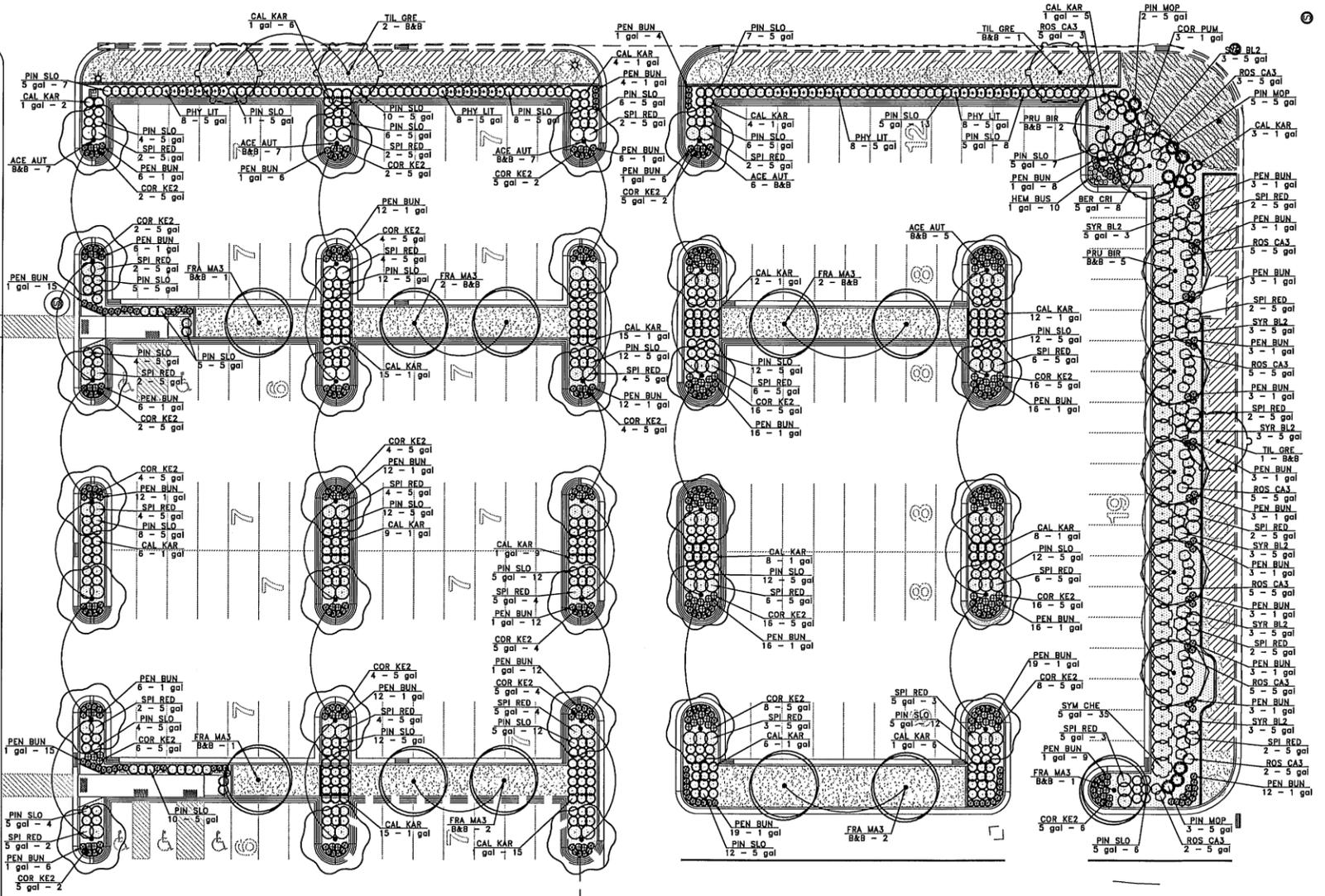
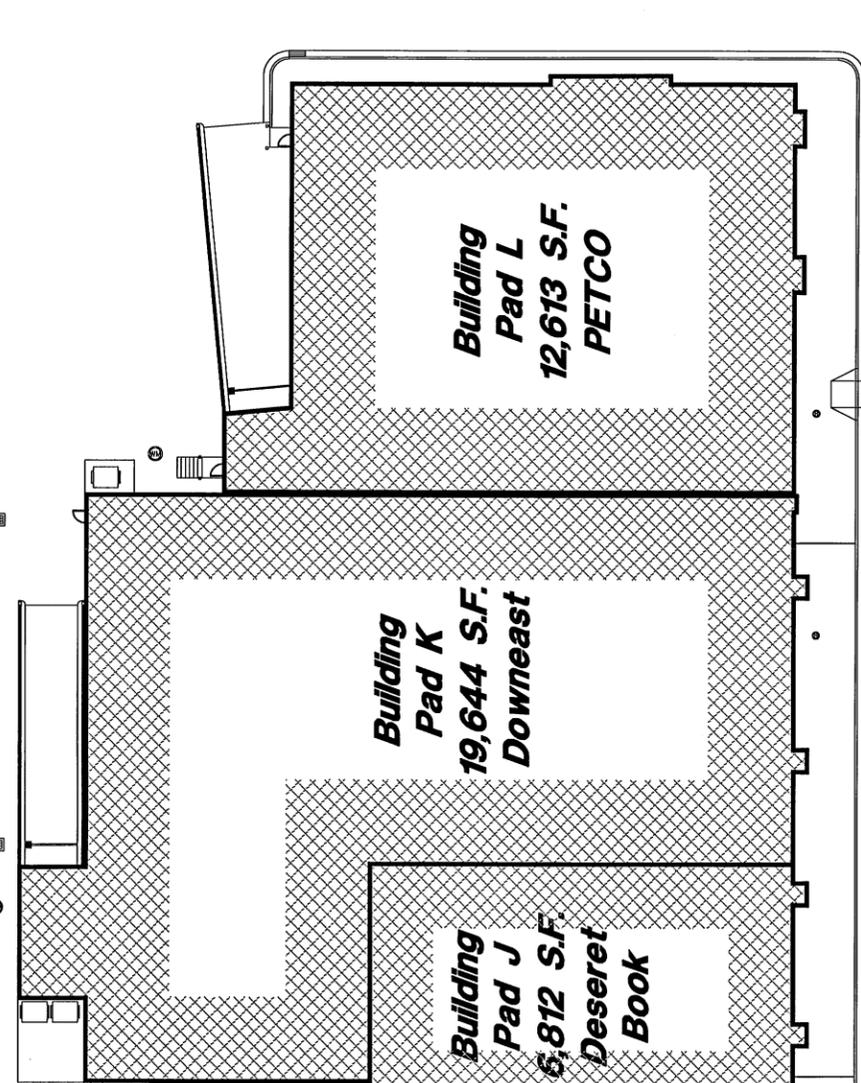
Construction Details
Park Plaza Subdivision
 A part of the Northwest 1/4 of Section 27
 T5N, R2W, S1B&M, U.S. Survey
 Clinton City, Davis County, Utah

27 Sept. 2016

SHEET NO.

C4.00

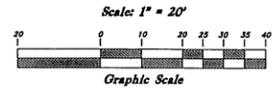
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Call before you Dig
Avoid cutting underground utility lines, like sewer.

Call 811

1-800-882-4111



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 1501 WEST 4500 SOUTH, OGDEN, UTAH 84202
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Landscape Plan

Park Plaza Subdivision

A part of the Northwest Quarter of Section 27
 T5N, R2W, S16&M, U.S. Survey
 Clifton City, Davis County, Utah

27 SEP. 2016

SHEET NO.

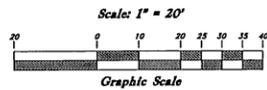
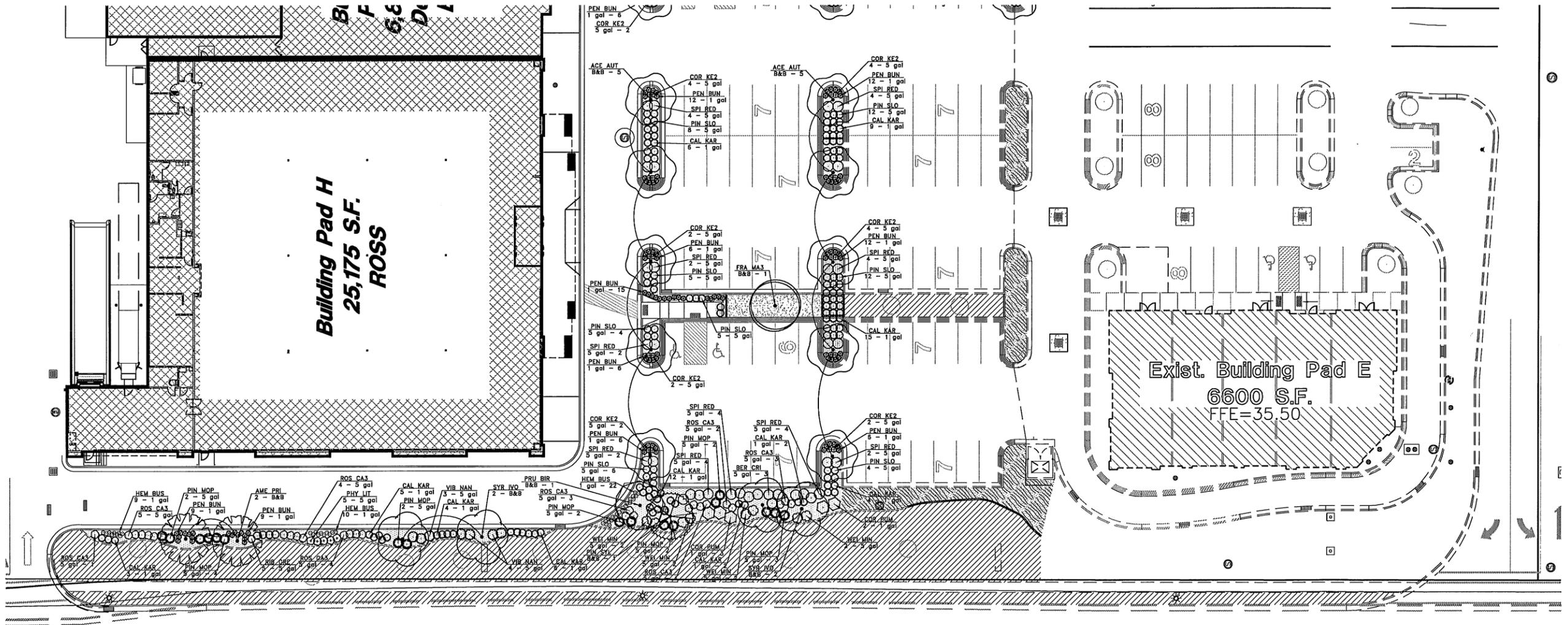
LP101

06N327

See Sheet LP101

Building Pad H
25,175 S.F.
ROSS

Exist. Building Pad E
6600 S.F.
FFE=35.50



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 MOUNTAIN VIEW BLVD. SUITE 222, FARMINGTON, UT 84404
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Landscape Plan
Park Plaza Subdivision
 A part of the Northwest Quarter of Section 27
 T5N, R2W, S16&17E, U.S. Survey
 Clinton City, Davis County, Utah

PLANT SCHEDULE

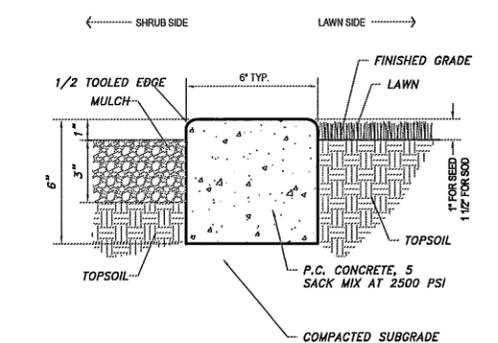
TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	GAL	SIZE
	ACE AUT	42	Acer freemanii 'Jeffers' / Autumn Blaze Maple	B&B	2"	Cal
	AME PRI	2	Amelanchier x grandiflora 'Princess Diana' / Princess Diana Serviceberry	B&B	2"	Cal
	FRA MA3	12	Fraxinus mandshurica 'Manoana' / Manoana Ash	B&B	2"	Cal
	PIN SYL	1	Pinus sylvestris / Scotch Pine	B&B		5-6' HT
	PRU BIR	8	Prunus padus 'Bird Cherry' / Bird Cherry	B&B	2"	Cal
	SYR IVO	4	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B&B	2"	Cal
	TIL GRE	4	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	2"	Cal
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE		
	BER CRI	11	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry	5 gal		
	COR KE2	154	Cornus sericea 'Kelsey' / Kelsey Dogwood	5 gal		
	PHY LIT	37	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	5 gal		
	PIN MOP	27	Pinus mugo 'Mops' / Mugo Pine	5 gal		
	PIN SLO	339	Pinus mugo 'Slowmound' / Mugo Pine	5 gal		
	RIB GRE	5	Ribes alpinum 'Greenmound' / Dwarf Alpine Currant	5 gal		
	ROS CA3	61	Rosa x 'Carefree Wonder' / Rose	5 gal		
	SPI RED	121	Spiraea x bumalda 'Dart's Red' / Dart's Red Spiraea	5 gal		
	SYM CHE	35	Symphoricarpos x ohenaultii 'Hanoock' / Hanoock Coralberry	5 gal		
	SYR BL2	21	Syringa x 'Bloomingang' / Lilac	5 gal		
	VIB NAN	7	Viburnum opulus 'Nanum' / Dwarf European Viburnum	5 gal		
	WEI MIN	8	Wei gata florida 'Minuet' / Minuet Weigela	5 gal		
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE		
	HEW BUS	51	Hemerocallis x 'Little Business' / Little Business Daylily	1 gal		
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE		
	CAL KAR	228	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal		
	COR PUM	8	Cortaderia selloana 'Pumila' / Dwarf Pampas Grass	1 gal		
	PEN BUN	427	Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass	1 gal		

GROUND COVER SCHEDULE

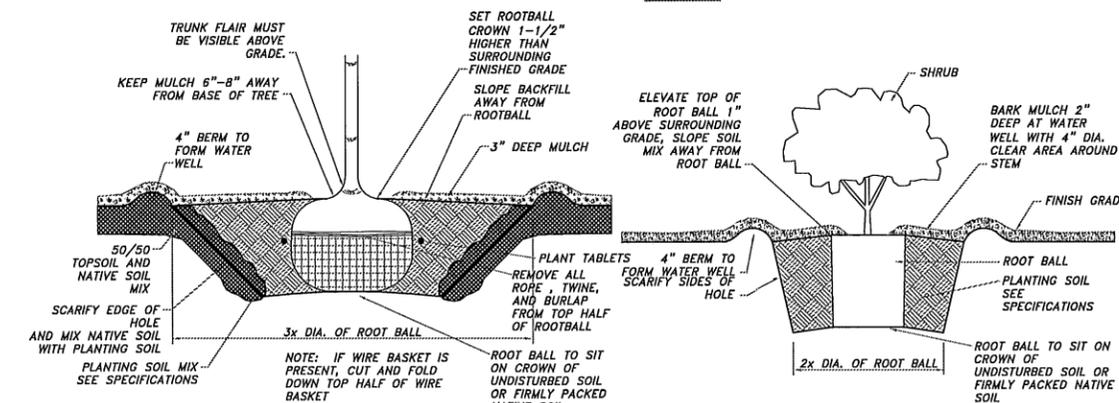
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	TYPE	SPACING
	13,030 sf	Existing Lawn Maintain and protect. Repair any lawn damaged by construction activity. Cut edges clean and straight where abutting new sod.	None		
	2,272 sf	Existing Shrub Bed Maintain and protect. Repair and replace any plant material, mulch, topsoil, and mowstrips damaged by construction activity. Topdress with 2" deep layer of new bark mulch.	None		
	5,508 sf	Kentucky Bluegrass Sod Install over 6" deep topsoil.	sod	Sod	
	13,087 sf	Shredded Bark Mulch Natural shredded tree bark. Install over 12" deep imported topsoil, pre-emergent herbicide, and weed barrier fabric.	Mulch	Shredded	

PLANTING NOTES

- EXAMINE THE SITE CONDITIONS, THE SUBGRADE AND VERIFY THE DEPTHS OF TOPSOIL AND MULCH. NOTIFY THE ARCHITECT IN WRITING OF ANY UNSATISFACTORY CONDITIONS. DO NOT BEGIN LANDSCAPE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN RESOLVED.
- VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO ANY DIGGING. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THIS CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- TOPSOIL IS TO BE IMPORTED TO THE SITE. SCREEN AND AMEND AS NECESSARY TO MEET 'ACCEPTABLE' STANDARDS FOR TOPSOIL AS DESCRIBED IN 'TOPSOIL QUALITY GUIDELINES FOR LANDSCAPING' (KOEING, ISAMAN, UTAH STATE UNIVERSITY) <http://extension.usu.edu/files/publications/publication/AG-SO-02.pdf> CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS. ALLOW FOR A MINIMUM OF 4" OF TOPSOIL FOR NATIVE SEED AREAS, 6" OF TOPSOIL FOR TURF AND 12" OF TOPSOIL FOR SHRUBS AND TREES.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS. ALLOW FOR A MINIMUM OF 4" THICK MULCH LAYER. COORDINATE ROUGH GRADING WITH THE GENERAL CONTRACTOR.
- ALL PLANT MATERIAL MUST MEET THE SIZES AS INDICATED ON THE PLANT SCHEDULE. PLANT MATERIAL THAT DOES NOT MEET THE QUALITY STANDARDS OF THE PROJECT WILL BE REFUSED BY THE LANDSCAPE ARCHITECT.
- TURFGRASS SOD SHALL BE CERTIFIED NUMBER 1 QUALITY/PREMIUM SOD - SEE SPECIFICATIONS



1 CONCRETE MOWSTRIP
3" = 1'-0" 06N327-Parking - LP1



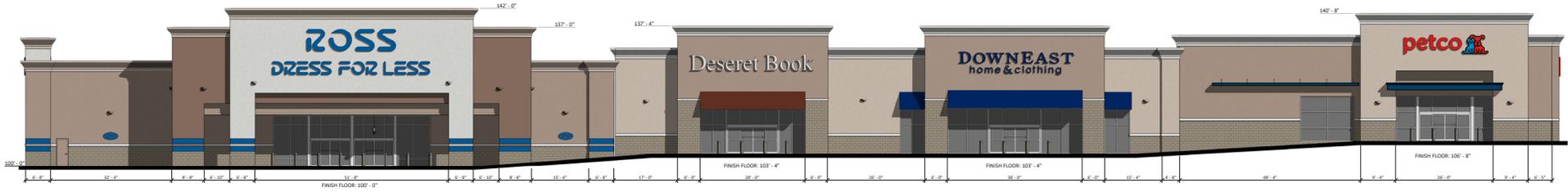
2 TREE PLANTING 1/2" = 1'
06N327-Parking - LP1

3 SHRUB PLANTING 1" = 1'-0"
06N327-Parking - LP1

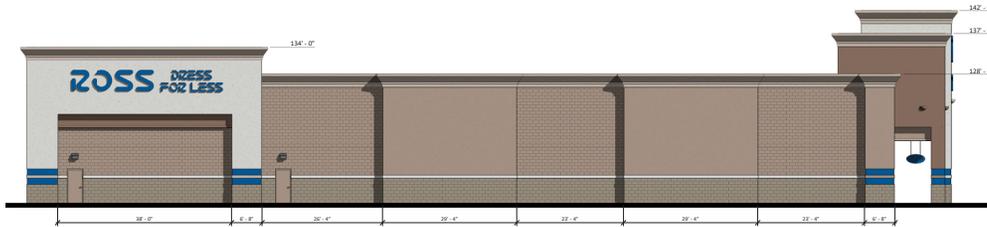
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PHONE: 469-1352 FAX: 469-1352
WWW.GREATBASINENGINEERING.COM

Landscape Legend, Notes, & Details
Park Plaza Subdivision
A part of the Northwest Quarter of Section 27
T5N, R2W, S16&M, U.S. Survey
Cannon City, Davis County, Utah

27 SEP. 2016
SHEET NO.
LP5.01
06N327



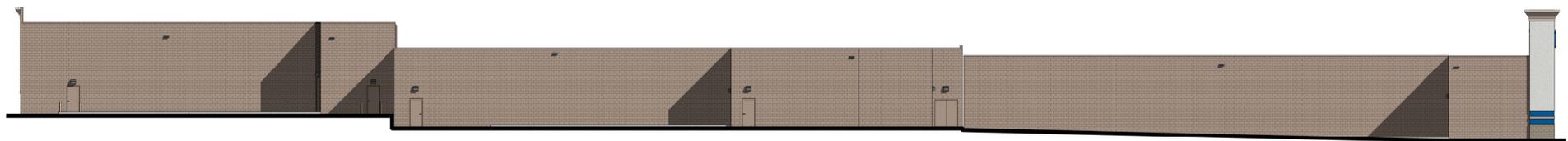
SOUTH ELEVATION



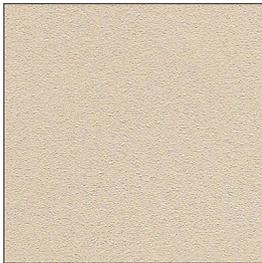
WEST ELEVATION



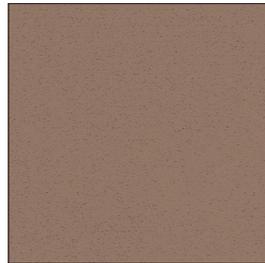
EAST ELEVATION



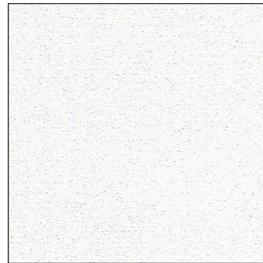
NORTH ELEVATION



1. EIFS DRYVIT #113
"AMARILLO WHITE"



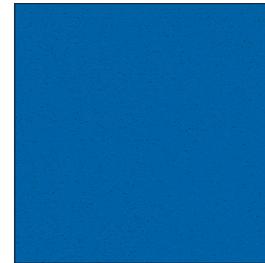
2. EIFS DRYVIT TO MATCH
SW 6067 "MOCHA"



3. EIFS DRYVIT #101
"SUPERWHITE"



4. EIFS DRYVIT TO MATCH
SW 6066 "SAND TRAP"



R1. BLUE IDENTITY BANDS
"ROSS BLUE" TK-PRODUCTS



R2. AMCOR SPLIT-FACE
CMU "MESQUITE"

PARK PLAZA RETAIL MATERIAL BOARD

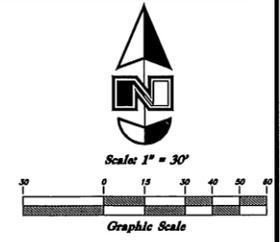
16146
CLINTON, UT



- General Site Notes:
1. Stalls designated as handicap will require a painted handicap symbol. (See Details)
 2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
 3. Able markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
 4. See Horizontal Control plan for coordinates, radiuses and detailed dimensions of site improvements.
 5. Building sidewalks, ramps, and bollards are building contractor responsible items. See architectural plans.
 6. All dimensions are to back of curb unless otherwise noted.

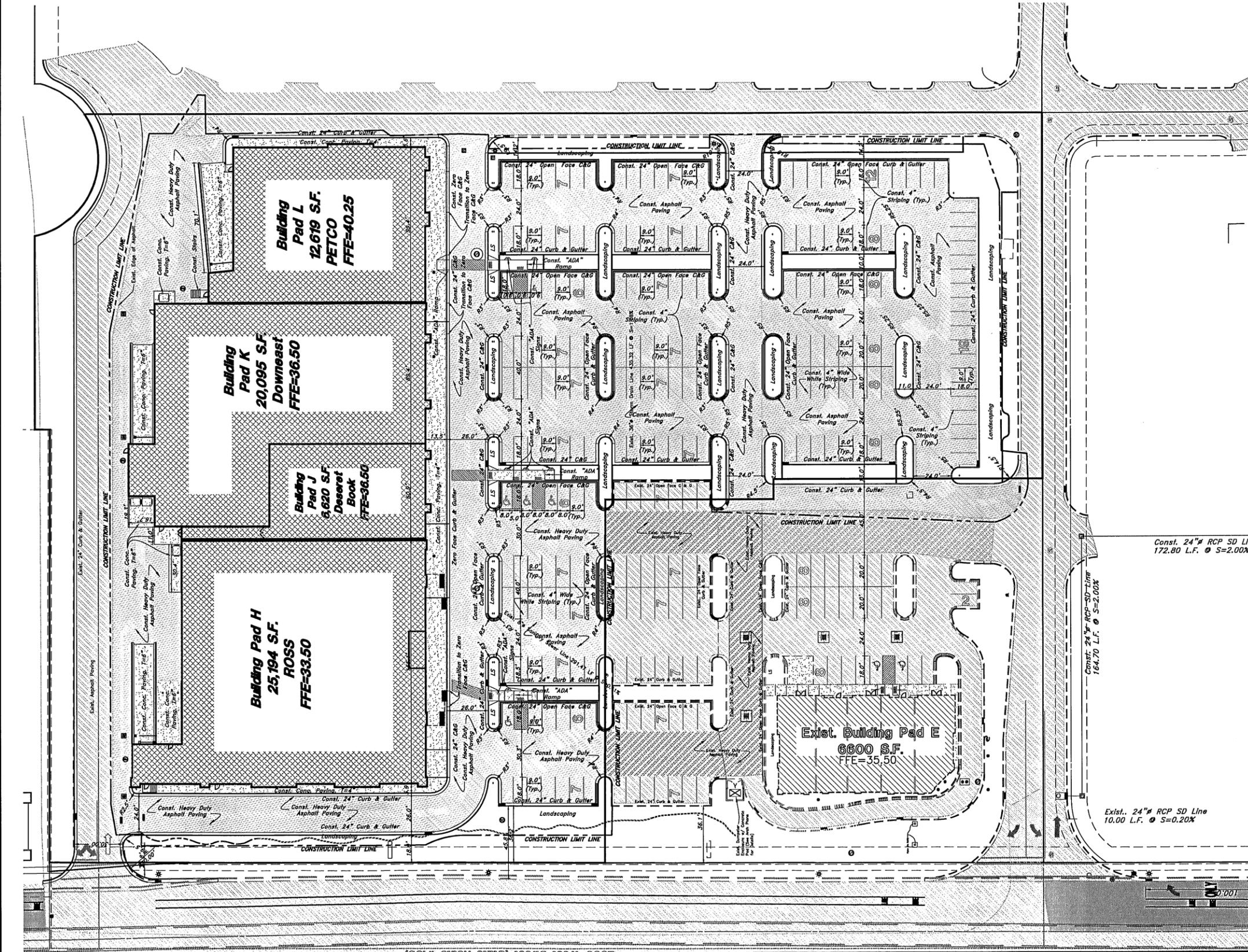
ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

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Legend

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 - Water Manhole
 - Storm Drain Manhole
 - Electrical Manhole
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 - Top of Walk
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 - Top of Concrete
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 - Existing Asphalt
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10-13-16P04:41 CFMD

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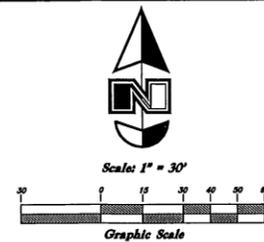
Site Plan
Park Plaza Subdivision
 A part of the Northwest 1/4 of Section 27
 T5N, R2W, S1&2M, U.S. Survey
 Clinton City, Davis County, Utah

27 Sept. 2016
 SHEET NO.
C1.00
 06N327

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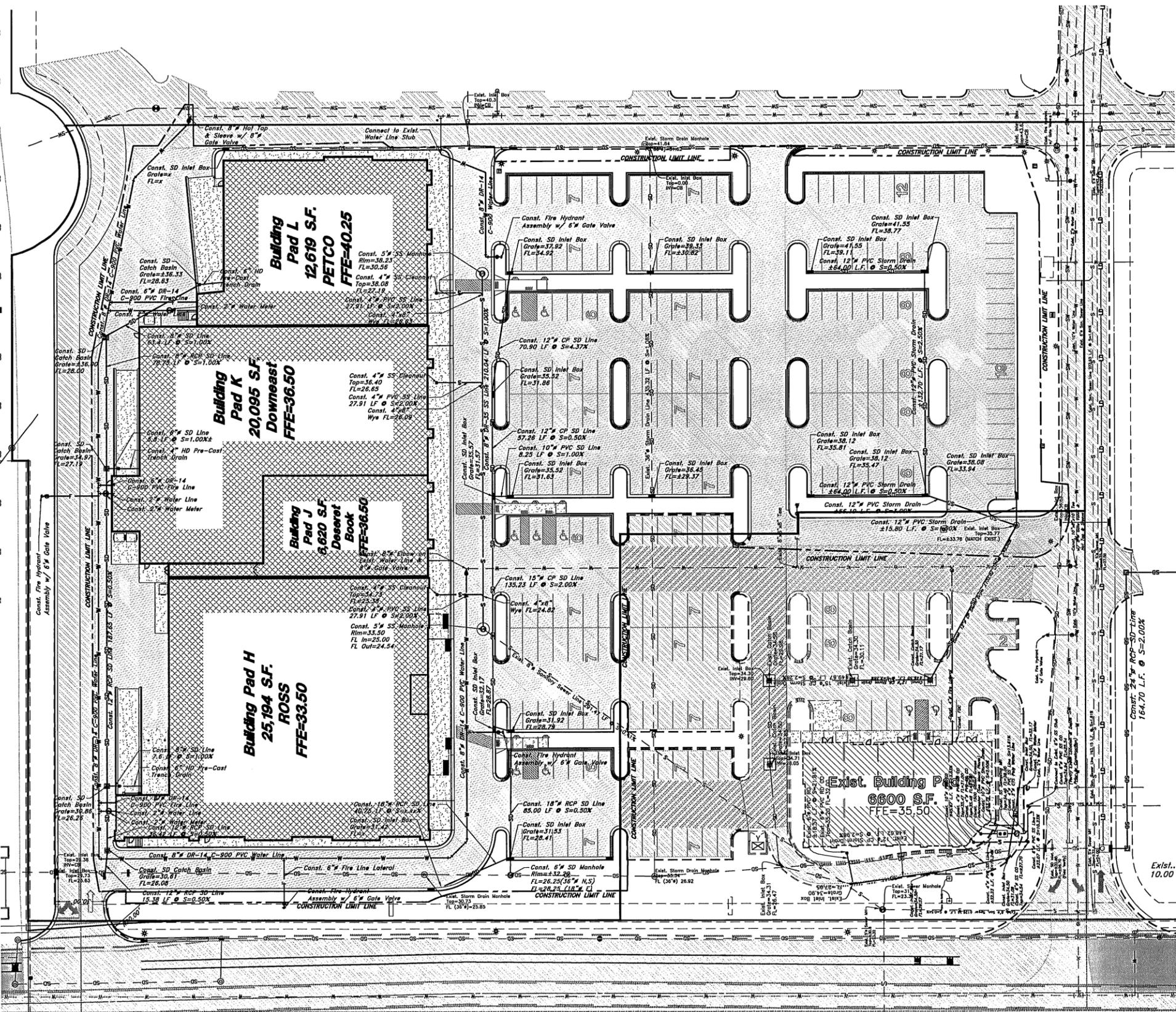
BLUE STAKES
 Call: TOLL FREE
 1-800-662-4111
 TWO WORKING DAYS BEFORE YOU DIG

ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY



Legend
 (Note: All items may not appear on drawing)

San. Sewer Manhole	⊙
Water Manhole	⊙
Storm Drain Manhole	⊙
Electrical Manhole	⊙
Catch Basins	⊙
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Fire Hydrant	⊙
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Gas Line	—G—
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Secondary Waterline	—SW—
Underground Power Line	—UGP—
Overhead Power Line	—OHP—
Fire Line	—FL—
Land Drain	—LD—
Power pole w/guy	⊙
Light Pole	⊙
Fence	—F—
Flashing of ditch	—CF—
Corrugated Metal Pipe	—CMP—
Concrete Pipe	—CP—
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Ductile Iron	—DI—
Polyvinyl Chloride	—PVC—
Top of Asphalt	—TA—
Edge of Asphalt	—EA—
Centerline	—CL—
Flashing	—FF—
Finish Floor	—FF—
Top of curb	—TC—
Top of Wall	—TW—
Top of Concrete	—TCN—
Finish Contour	—FC—
Exist. Contour	—EC—
Finish Grade	—FG—
Exist. Grade	—EG—
Ridge Line	—RL—
Direction of Flow	—R—
Existing Asphalt	—EA—
New Asphalt	—NA—
Heavy Duty Asphalt	—HDA—
Concrete	—C—
Open Face Curb & Gutter	—OCG—



General Utility Notes:
 1. Coordinate all utility connections to building with plumbing plans and building contractor.
 2. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
 3. All catch basins and inlet box grates are to be bicycle proof.
 4. All inlet boxes located in curbs and gutters are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
 5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
 6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
 7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
 8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown.
 9. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
 10. Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.

Utility Piping Materials:
 All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals
 1. 3/4" to 2 1/2" diameter pipe - CTS Poly tubing
 2. 3" diameter pipe - copper tube ASTM B, Type K, Soft Temper
 3. 4" diameter pipe and over - Polyvinyl Chloride (PVC) C-900

Water Main Lines and Fire Lines
 1. Pipe material as shown on utility plan view or to meet city standards.

Sanitary Sewer Lines
 1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

Storm Drain Lines
 1. 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
 2. 12" to 18" pipes - Concrete Pipe, ASTM C76, Class II
 3. 18" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class II

GREAT BASIN ENGINEERING

5746 SOUTH 1475 EAST OGDEN, UTAH 84403
 MAIN (801)594-4515 SLLC (801)521-0222 FAX (801)592-7154
 WWW.GRETBASINENGINEERING.COM

Utility Plan

Park Plaza Subdivision
 A part of the Northwest 1/4 of Section 27
 15N, R2W, S16&M, U.S. Survey
 Clifton City, Davis County, Utah

27 Sept. 2016
 SHEET NO.
C3.00
 06N327



**PUBLIC WORKS
STREETS & INSPECTIONS**

**1740 North 1750 West
Clinton City, UT 84015**

Phone: (801) 614-0872

Fax: (801)614-0883

e-mail: gfolk@clintoncity.com

DEVELOPMENT REVIEW

DATE: 10/04/2016
TO: Will
FROM: Gregg Folk
RE: Park Plaza Ross pad

Public Works

- Submit SWPPP and maintenance agreement
- Note: any ROW improvements to UDOT standards
- Pad J has no laterals ?
- Submit storm drain calculations, verify detention pond capacity

Fire Department

I have reviewed the Park Plaza Subdivision Site Plan received on 9-27-2016. My initial findings are below:

- The road that goes East / West on the south side of the building needs to be 26' wide, it is currently 24' wide. It is considered a fire department access road with fire hydrants. **IFC D103.1**
- The fire hydrant on the West side of the building is too close to the building. It can't be closer than 40' to the building. **NFPA24, 7.2.3**
- We will be requiring a fire hydrant on the North side of the building, North of the drive way for Lowes, in the grass, outside of the construction limit line. The fire hydrant should be mid building, about 200 - 205' from the East exterior wall and West exterior wall and 40' from the North exterior wall.

Before I can finish the site plan review I will need to know the below items:

- What is the construction type of the building?
- What is the height of the building?
- Will the building have sprinklers? If so how many sprinkler risers and FDC's will be used the building.

(1) Design Review Procedures

(a) The design review of all projects designated in the Zoning Ordinance with a (DR) notation shall begin with a pre-submittal conference. The conference shall be attended by the applicant and City staff in the Community Development Department to review the submittal requirements and the design review process. Following submittal of the development design, additional staff reviews may occur prior to scheduling a review by the Planning Commission.

(b) The City requires that all projects within the Central Business District be approved through the design review process before final site plan approval can be granted, and before a building or other development permit is granted.

(c) The Planning Commission will perform an Architectural Design Review – Points Evaluation to determine adherence to the Prairie Style architecture and character as described in the Design Standards. Points shall be awarded for each design component listed below according to the committee’s evaluation of the project. The standards and requirements found in zoning, subdivision and other land development regulations are not evaluated.

(d) Points are assigned as follows:

+2 points:	If a project exceeds or meets excellently the intent of the standard or guideline.
+1 point:	If a project meets well the intent of the standard or guideline.
0 points:	If a project adequately meets the minimum intent of the standard or guideline.
-1 point:	If the project does not adequately meet the intent of the standard or guideline.
-2 points:	If the project substantially fails to follow the intent of the standard or guideline.

(e) The following chart is used to perform the Architectural Design Review - Points Evaluation. All applicable characteristics are rated and points are totaled.

(f) In addition to the above, the Planning Commission must make findings that the development site plan will meet the general purpose and spirit of the Performance Standard Zone ordinance.

Table 20.1		Architectural Design Review – Points Evaluation		
	Point	Weight (optional)	Total	
1. Building orientation	-----	-----	-----	
a. To the street				
b. For future infill				
2. Roofing type and pitch				
3. Roof line length				
4. Building height				
5. Building materials				
6. Façade length variation				
7. Color schemes				
8. Location and proportion of porches, and entrances				
9. Location and proportion of windows				
10. Ornamentation and details				
11. Parking integration				
12. Sign integration				
13. Site landscaping design	-----	-----	-----	
a. Fencing/walls				
b. Sidewalks				
c. Trees				
d. Solid waste enclosures				
e. Additional features				
14. Exterior lighting				
			TOTAL	
DESIGN REVIEW AVERAGE SCORE (Total / 19)				

(2) Approval and Incentives ¹³⁶

(a) Any project with a Design Review Average Score of “0”, or more, will receive recommendation for approval. Chapter 19 (Performance Standard Zone) demonstrates several incentives that may be awarded for projects achieving a positive score. ¹²⁶

(b) Adjustment to requirements of Chapter 4 § 16 this Ordinance may be awarded based upon;

(i) Requirements of UDOT when dealing with SR-37 (1800 North) and SR-108 (2000 West);

(ii) Recommendations of a qualified Utah State Licensed Traffic Engineer as outlined in an acceptable traffic study;

(iii) Parking Lot Design

(A) Reduction of drive isle width from twenty (26) feet to twenty four (24) feet.

(B) An increase in the percentage of compact car spaces.

(3) Modifications. If it becomes impossible or impractical to complete construction of a project in accordance with the approved design, an alternative design may be submitted which follows as closely as possible the original design. This shall be considered a new application and be subject to the same review process.

(4) Change of Use ¹⁴⁹. When there is any change of use, as defined by this title and in the IBC, with existing residential of commercial buildings, and/or any modifications to the exterior of the building, including but not limited to material and color changes, the exterior of the building must comply with the requirements/provisions of this chapter with regards to design standards and site standards as found within this title.

28-20-2 Commercial Design Objectives.

(1) Design Standards (Requirements)

(a) Roofing type / pitch. Roofing shall be compatible with Prairie style architecture, including the encouraged use of hipped roofs with a low roof pitch, with gabled roofs used for accents, entries, etc. Eaves shall be no less than three (3) feet, which will help maintain horizontality of the Prairie style architecture. Pitch of roofing shall be no higher than 5 feet of rise to 12 feet of run. ¹⁸³

(b) Roof Line Length. For sides of the building facing a public street, roof lines shall vary in depth, shape or dimension every twenty (20) feet. For sides of the building which do not face a public street, roof lines shall vary in depth, shape or dimension every forty (40) feet. The change in depth, shape or dimension must run the length of the changed roof line.

(c) Height Limitation. Buildings shall be limited to maximum height limit established in Chapter 19, Performance Standard Zone. When designing and approving buildings the architectural review must always consider whether the proportionate design of the building maintains a chiefly horizontal appearance. ¹⁸³

(d) Building Materials. Acceptable materials include brick, stucco, horizontal rock, or split face block. No flat or smooth face block (CMU) is allowed. Additional materials compatible with the Prairie style may be approved by the Planning Commission.

(e) Color schemes. All tones.



structures shall have contrasting color schemes using earth

(f) Fenestration. The use rectangular or tall, narrow

of windows shall include repetition and clustering of windows. Window framing shall have a bold appearance.

(g) Facade Length. twenty (20) feet at a building which do not dimension every forty (40) feet. The change in depth, shape or dimension must run the length of the changed façade length.

Facades lengths shall vary in depth, shape or dimension every minimum depth of twenty four (24) inches. For sides of the face a public street, facades shall vary in depth, shape or

(h) Mechanical shielding. Mechanical equipment, solar panels, and other rooftop equipment shall be shielded from view with roofing materials or other architectural features with a horizontal appearance compatible with the architecture. This also includes screening and sound proofing of the equipment that is on the ground.

(i) Fencing / walls. When required, fencing shall consist of long, low walls achieving a horizontal appearance. Columns are acceptable as long as the overall appearance remains horizontal in character. Chain link fencing is not permissible. If a chain link fence exists prior to the development occurs, replacement of the fence will be required.

(j) Lighting.

(i) Parking Lot Lights within the development shall have a decorative style reflecting the architectural style of the building, and shall be in accordance with City lighting requirements. No cobra-style light standards are allowed.

(ii) Exterior building lighting shall reflect the architectural style of the building.

(k) Solid Waste are not located within a the same materials as used the Prairie style



Enclosure. Solid waste receptacles and compactors which building, shall be gated and enclosed on three sides with on the main structures and reflect a style complimentary to architecture.

(l) Ornamentation. encouraged, including should be on the use

Ornamentation consistent with Prairie style architecture is detailing on windows, handrails, columns, etc. Emphasis horizontal lines.

(2) Landscaping. Residential landscaping should be compatible with the building architecture. The installation of well designed landscaping, including the use of green, drought resistant and native plants is encouraged. (see 28-3-20) Trees are encouraged to be planted, following the tree planting guidelines as shown on table 20.2.

(3) Architectural Design Photos. Figure 2 on the following page displays several examples of the application of the Prairie style architecture on commercial buildings.

Table 20.1	Architectural Design Review – Points Evaluation Park Plaza Subdivision Amendment 3 for Ross, Deseret Book, Downeast and Petco		
	Point	Weight (optional)	Total
1. Building orientation		-----	-----
a. To the street			
b. For future infill			
2. Roofing type and pitch			
3. Roof line length			
4. Building height			
5. Building materials			
6. Façade length variation			
7. Color schemes			
8. Location and proportion of porches, and entrances			
9. Location and proportion of windows			
10. Ornamentation and details			
11. Parking integration			
12. Sign integration			
13. Site landscaping design		-----	-----
a. Fencing/walls			
b. Sidewalks			
c. Trees			
d. Solid waste enclosures			
e. Additional features (fire lane around bldg.)			
14. Exterior lighting			
TOTAL			
DESIGN REVIEW AVERAGE SCORE (Total / 19)			



<h2 style="margin: 0;">Clinton City Site Plan Review</h2>

Project Information – Park Plaza Subdivision				
Applicant – Wright Development Group, Spencer Wright		Buildings Square Footage Total of 71,128 sq. ft.	64,528 sq. ft. of new retail space added to 6,600 sq. ft.	
Property Address	1978 North 2000 West	Building Perimeter	About 1,105 linear feet	
Zoning	Performance Zone	Site Gross Size	6.8 acres (630' x 473')	
Date of Hearing	10-18-16	Site Net Size	5.3 acres (353' X 473' + 277' X 236' = 232,341 sq ft)	
Date of Action		Architectural Score	Overall a Plus + score	
Site Information – Park Plaza Subdivision -				
Impervious Surface Ratio				
	North	South	East	West
Buffer Requirement	Adjacent to driveway	Front of store toward parking	Facing Lowe's	Arterial along 2000 West
Buffer Designator		NA	NA	
Buffer Depth (feet)	20 feet			20 feet
Landscape Requirements				
Landscape plan has 73 trees, shrubs of 826,	51 flowers and	grasses at 663	for a total	of 1,613 plants.
	Canopy Tree			
	Understory Tree			
	Shrub			
	Evergreen / Conifer			
Parking Requirements – Parking was created to accommodate new and existing building tenants.				
	Type of Space (ref. § 28-4-5)	Square Footage	Parking Stalls Required	
Park Plaza Sub	Section 28-4-5(12) Eating & Drinking Establishments and Section 28-4-5(26) Retail Space at 200 sq. ft. per space.	64,528 sq. ft. added to 6,600 sq. ft. existing buildings for a	total of 71,128 square feet with 53,346 sq. ft. of retail space = 266.7 parking spaces.	
Applicant is	proposing 266 parking spaces for this	commercial complex.		
		Total Stalls Required	265-270 parking spaces (depends on size of retail space)	

Additional Approval Requirements / Comments

The architectural design review found in Section 28-20-1 accompanied by the 'points evaluation' sheet shows the site plan, building elevations, landscape plan and buffers on 2000 West and north side appear to correlate well with the existing buildings and site plan, including landscaping in Park Plaza Subdivision Commercial Complex.

The building elevations depict the construction of a new building with an exterior façade showing depth, dimension and texture on the south side facing the parking area as well as the western façade along 2000 West, which generally conform to the standards the City wants to see in the Central Business District.

The Landscape Plan provides sufficient trees and shrubs along the western façade on 2000 West as well as in the landscape islands in the parking lot. However, the north side does not have any plants along the access driveway, which trees and shrubs would help break up the back of this building, thereby enhancing the visual environment and supporting the City's ongoing efforts of beautifying Clinton's business district and therefore, should be added to the landscaping.

Staff recommends the Planning Commission give preliminary approval for the proposed building, including signage and lighting that meets the requirements of the City Zoning and Sign Ordinances. Additionally, preliminary approval of the Site Plan, including the Landscape and Parking Plan, with Developer to comply with all staff comments related to the plat and engineering as well as building construction plans. The Developer agrees to comply with all Clinton City Standards, Ordinances, staff, and Engineer requirements established during the review and approval process.

Date

Jacob Briggs, Clinton City Planning Commission Chair

CHAPTER 4 ASSURANCE FOR COMPLETION AND MAINTENANCE OF IMPROVEMENTS

- 4.1. IMPROVEMENTS AND SUBDIVISION IMPROVEMENT AGREEMENT
- 4.2. INSPECTION OF IMPROVEMENTS
- 4.3. ACCEPTANCE OF OFF-SITE IMPROVEMENTS
- 4.4. MAINTENANCE OF IMPROVEMENTS
- 4.5. DEFERRAL OF WAIVER OF REQUIRED IMPROVEMENTS
- 4.6. ESCROW DEPOSITS FOR LOT IMPROVEMENTS
- 4.7. ISSUANCE OF BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY

4.01 IMPROVEMENTS AND SUBDIVISION IMPROVEMENT AGREEMENT

1. Development Agreement.

Upon approval of the preliminary plat the subdivider shall provide that the conditions contained in the Subdivision Development Agreement shall run with the land and bind all successors, heirs, and assignees of the Subdivider. When the Subdivision Development Agreement is adopted by the Council, pursuant to applicable state and local laws, it shall be recorded against all properties in the subdivision in the Recorder's Office of Davis County. The Subdivision Development Agreement shall outline the conditions of approval related to the zone, density, lot sizes, average dimensions, and other factors pertinent to the preliminary approval.

2. Completion of Improvements:

Before the final plat of the subdivision is signed by the Mayor or recorded with the Davis County Recorder's Office, all subdividers shall be required to complete, in accordance with the Council's decision and to the satisfaction of the Public Facilities Inspector. All the street, sanitary and other

public improvements, including lot improvements on the individual lots of the subdivision, as required in these regulations, specified in the final plat of the subdivision and approved construction drawings as approved by the Council. The subdivider is to dedicate those public improvements to the City, free and clear of all liens and encumbrances on the dedicated property and public improvements.

3. Subdivision Improvement Agreement and Guarantee.

a. **Agreement.** The Community Development Director (Director) may waive the requirement that the subdivider complete and dedicate all public improvements prior to recording the final plat of the subdivision and, as an alternative, permit the subdivider to enter into a Subdivision Improvement Agreement by which the Subdivider covenants to complete all required public improvements no later than two (2) years following the date on which the Council approves the final plat of the subdivision. The subdivider shall covenant to maintain each required public improvement for a period of one (1) year following the conditional acceptance by the Council of

the dedication of that completed public improvement. Additionally, the subdivider shall warrant that all required public improvements will be free from defect for the same one (1) year following the conditional acceptance. The Subdivision Improvement Agreement shall contain such other terms and conditions agreed to by the subdivider and the Council.

b. **Security.** Whenever the Director permits a subdivider to enter into a Subdivision Improvement Agreement, it shall require the subdivider to provide a cash escrow as security for the promises contained in the Subdivision Improvement Agreement. Security shall be in an amount equal to one hundred fifteen percent (115%) of the estimated cost of completion of the required public improvements, including lot improvements. The estimated cost shall be reviewed and verified by the City Engineer. The escrow agent shall be a state-licensed institution approved to conduct business in this capacity and shall be acceptable to the Director.

c. **Cash Escrow.** When the subdivider posts a cash escrow as security for its promises contained in the Subdivision Improvement Agreement, the escrow instructions shall provide:

- i. That the Subdivider will have no right to a return of any of the funds except as provided in section 4.02.2.; and
- ii. That should the subdivider fail or refuse to make the improvements required as outlined in this agreement, the City Subdivision Ordinance or approved construction drawings within two (2) years following the date on which the Council approves the final subdivision plat, the City may declare the funds on deposit with the Escrow Agent

forfeited, and the escrow agent shall have a legal duty to deliver the proceeds of the account. The funds shall be used to install the improvements required by the City Subdivision Ordinance and approved construction drawings.

d. **Escrow Deficiency.** If at any time prior to completion of the subdivision or acceptance of the improvements by the City, the City determines the amount held in escrow (exclusive of the 15% reserve) is not sufficient to complete the needed improvements, subdivider shall put such additional amounts into escrow within 30 days of receiving written notice from the City.

e. **Appeal.** The Subdivider may request a hearing before the City Council for a review of the opinion of the Director, Public Facilities Inspector or City Engineer or upon action by the City to seize a cash escrow, provided said request is made in writing and served by certified mail within thirty (30) days after written notification of any nonconformity with City ordinances, rules, regulations, requirements and standards or the Subdivision Improvement Agreement or Approved Construction Drawing or as to the insufficiency of any work.

If and when the municipality conditionally accepts the offer of dedication for the last completed required public improvement, the municipality shall execute a waiver of its right to receive all but fifteen percent (15%) of the funds represented by the cash escrow if the Subdivider is not in breach of the Subdivision Improvement Agreement. The residual funds shall be security for the Subdivider's covenant to maintain the required public improvements and its warranty that the improvements are free from defect.

4. Surety Bond as Guarantee:

Once all the required public improvements, including lot improvements are completed and the City has granted conditional acceptance the subdivider may replace the cash escrow with a surety bond an amount equal to the required 15% guarantee. Any surety bond established is subject to all stipulations of cash escrow outlined in this Chapter.

5. Temporary Improvement:

The subdivider shall build and pay for all costs of temporary improvements required by the Council and shall maintain those temporary improvements for the period specified by the Council. Prior to construction of any temporary facility or improvement, the developer shall file with the City a separate Subdivision Improvement Agreement and a cash escrow in an appropriate amount for the temporary facilities to be properly constructed, maintained, and removed.

6. Required Improvements:

All required improvements shall be made by the developer, at its expense, without reimbursement by the City or any improvement district except that, as may be allowed under state law and approved by the Council.

7. Governmental Units:

Governmental units to which these contract and security provisions apply may file, in lieu of the contract and security, a certified resolution or ordinance from officers or agencies authorized to act in their behalf, agreeing to comply with the provisions of this Ordinance.

8. Failure to Complete Improvement:

a. For subdivisions for which no Subdivision Improvement Agreement has been executed and no security has been posted, if the improvements are not completed within the period specified by the Council in the action approving the final plat any such approval shall be deemed to have expired. Additionally:

- i. If the city is required to disconnect public utilities that may have been connected the city may file a lien against the property to recoup any costs incurred;
- ii. The city may, for the purpose of public notice record a document with the Davis County Recorder's Office indicating the incomplete status of the subdivision.

b. In those cases where a Subdivision Improvement Agreement has been executed and security has been posted and required public improvements have not been installed within the terms of the agreement, the City may then:

- i. Declare the agreement to be in default and require that all the improvements be installed regardless of the extent of the building development at the time the agreement is declared to be in default;
- ii. Suspend approval of the final plat of the subdivision until the improvements are completed and record a document to that effect for the purpose of public notice;
- iii. Obtain funds under the security and complete improvements itself or through a third party;

iv. Assign its right to receive funds under the security to any third party, including a subsequent owner of the subdivision for which improvements were not constructed, in whole or in part, in exchange for that subsequent owner's promise to complete improvements in the subdivision; or

v. Exercise any other rights available under the law.

c. Prior to the end of the two-year period, the City Council may grant an extension of up to one (1) year for completion of the improvements within the subdivision. The Subdivider, in writing shall make application for an extension with a copy provided to the Escrow Agent of record, if any. Upon action by the Council the Director shall notify the Subdivider and Escrow Agent, if any of the action taken by the Council. The decision to grant any extension period shall be within the sole discretion of the City.

9. Acceptance of Dedication Offers:

Acceptance of formal offers of dedication of streets, public areas, easements, and parks shall be by motion of the Council with such motion authorizing the Mayor to sign the final plat of the subdivision. The approval of a subdivision plat by the Planning Commission or Council, whether sketch, preliminary or final, shall not be deemed to constitute or imply the acceptance by the municipality of any street, easement, or park shown on the final plat. The Council may require the final plat to be endorsed with appropriate notes to this effect.

4.02 INSPECTION OF IMPROVEMENTS

1. General Procedure and Fees:

The Public Facilities Inspector shall inspect required improvements during construction and ensure their satisfactory completion. The subdivider shall pay to the municipality an inspection fee based on the estimated cost of inspection, and where the improvements are completed prior to approval of the final plat of the subdivision, the subdivision plat shall not be signed by the Mayor unless the inspection fee has been paid at the time of application. These fees shall be due and payable upon demand of the Director and no building permits or certificates of occupancy shall be issued until all fees are paid. The amount of the fees shall be established by resolution, from time to time by the Council and included in the Consolidated Fee Schedule. If the Public Facilities Inspector finds upon inspection that any one or more of the required improvements have not been constructed in accordance with the municipality's construction standards, specifications or approved construction drawings, the subdivider shall be responsible for properly completing the improvements.

2. Release or Reduction of Security:

The Director may release funds from an established escrow in an amount equal to that set in the Subdivision Escrow Agreement for said improvements. Prior to release of any funds the Public Facilities Inspector shall inspect all improvements for which the release of funds is being requested and verify proper material, construction, and compliance with city standards and approved construction drawings. For improvements that are not to be city owned infrastructure inspection shall be done by and verified by an inspector authorized by the appropriate utility. The amount of the escrow shall be reduced upon satisfactory inspection of the public improvements and then only to the ratio that the cost of the public improvement inspected bears to the total cost of public improvements

for the subdivision. In no event shall a release be greater than the amount of the inspected item established in the escrow or shall the cash escrow be reduced below fifteen percent (15%) of the principal amount.

4.03 ACCEPTANCE OF OFF-SITE IMPROVEMENTS

1. Conditional Acceptance of Improvements:

The Council will not conditionally accept dedication of required improvements, nor release nor reduce the amount of any security posted by the Subdivider until the Public Facilities Inspector has submitted a certificate stating that all required improvements have been satisfactorily completed and until:

- a. The Director has verified that all fees, charges, transfers, and deposits related to the development have been paid to the city;
- b. The subdivider’s engineer or surveyor has certified to the Public Facilities Inspector, through submission of a detailed “as-built” survey plat of the subdivision, indicating location, dimensions, materials, and other information required by the Public Facilities Inspector, that the layout of the line and grade of all public improvements are in accordance with construction plans for the subdivision;
- c. A title insurance policy has been furnished to and approved by the Director indicating that the improvements have been completed, are ready for dedication to the City, and are free and clear of any and all liens and encumbrances; and
- d. Upon such approval and recommendation by the Public Facilities Inspector, the Director shall present to the Council and the Council shall thereafter

conditionally accept the improvements for dedication in accordance with the established procedure.

2. Special Exceptions to Conditional Acceptance:

At the time of conditional acceptance the Council may hold back, in addition to the required guarantee funds the amount for seal coat and for sidewalk provided that:

- a. The subdivision does not front on an arterial street, where installation of the sidewalks is necessary for the safety of the public;
- b. All lots built-on in the subdivision have sidewalk installed on the lot where shown on the construction plans. Sidewalk must be installed prior to the issuance of a Certificate of Occupancy for any dwelling in the subdivision;
- c. There are dwelling building permits issued for less than 75% of the lots on in the subdivision;
- d. The City shall not conditionally accept any of the sidewalk prior to the installation of all the sidewalk required in the subdivision;
- e. All sidewalk shall be installed within one year of conditional acceptance and final acceptance shall not be granted until all sidewalk has been in place for one-year;
- f. The asphalt within the subdivision has not been down for at least one-year, or the season is not right for seal coat, and the Subdivider has indicated his willingness to participate in the city annual seal coat contract.

3. Final Acceptance:

a. The Subdivider shall request final acceptance of all improvements two years after conditional acceptance. Final inspection by the Public Facilities Inspector shall be made upon the request of the Subdivider but no sooner than two years after conditional acceptance. All defects as noted in the final inspection report of the Inspector shall be corrected to the satisfaction of the Inspector. Final acceptance shall be by approval of the Council after written approval is received from the Inspector.

b. Where repairs are necessary to be performed by the subdivider final acceptance may be delayed by the Council a specific amount of time if, in the opinion of the Public Facilities Inspector the severity of the repairs requires an extended guarantee period.

4. Authority to Release:

Funds held in the escrow account shall not be released to the Subdivider, in whole or part, except upon express written instructions of the City. At the end of the maintenance and warranty periods and after final acceptance by the city, all escrowed funds shall be released to the Subdivider.

4.04 MAINTENANCE OF IMPROVEMENTS

The developer shall be required to maintain all required public improvements on the individual subdivided lots and provide for snow removal on streets and sidewalks, if required by the Council, until acceptance of the improvements by the Council. If there are any certificates of occupancy on a street not dedicated to the City, the City may on twelve (12) hours notice plow the street or effect emergency repairs and charge those costs to the developer. Following the conditional acceptance of the dedication of any

public improvement by the City, the City may, in its sole discretion require the Subdivider to maintain the improvement for a period of one (1) year from the date of acceptance.

4.05 DEFERRAL OR WAIVER OF REQUIRED IMPROVEMENTS

1. Council Action:

The Council may defer or waive, at the time of approval of the final plat of the subdivision, subject to appropriate conditions, the provision of any or all public improvements as, in its judgment, are not requisite in the interests of the public health, safety, and general welfare, or which are inappropriate because of the inadequacy or inexistence of connecting facilities. Any determination to defer or waive the provision of any public improvement must be made on the record and the reasons for the deferral or waiver also shall be expressly made on the record.

2. Subdivider's Obligation:

Whenever it is deemed necessary by the Council to defer the construction of any improvement required under these regulations because of incompatible grades, future planning, inadequate or nonexistent connecting facilities, or for other reasons, the Subdivider shall pay his share of the cost of the future improvements to the City prior to signing of the final plat of the subdivision by the Mayor, or the developer may execute a separate Subdivision Improvement Agreement secured by a cash escrow guaranteeing completion of the deferred improvements upon demand of the City. .

4.06 ESCROW DEPOSITS FOR LOT IMPROVEMENTS

1. Non-Developer Builders:

a. Builders seeking a building permit in a subdivision that they are not the guarantor for shall deposit with the city a cash escrow in the amount established by resolution by the Council and published in the Consolidated Fee Schedule. Said bond shall be paid at the time a building permit is issued and shall insure and guarantee the lot improvements from damage during construction. Such improvements include but are not limited to curb, gutter, sidewalk, water meter structures, streetlights, grading, and other on lot improvements.

b. Escrows deposited by non-developer builders shall not be returned until a structure has passed final inspection, a certificate of occupancy has been issued and the Public Facilities/Building Inspector has approved all lot improvements. Once authorized, escrows shall be returned to the person paying for the building permit by the end of the month following the date of authorization of approval for release. No interest shall be paid at the time of release of escrows deposited with the city.

2. Acceptance of Escrow Funds:

Whenever, by reason of the season of the year, any lot improvements required by the subdivision regulations cannot be performed, a certificate of occupancy may be issued, provided there is no danger to health, safety, or general welfare upon accepting a cash escrow deposit in an amount to be determined by the Director for the cost of the needed lot improvements. The Subdivision Improvement Agreement and security covering the lot improvements shall remain in full force and effect.

3. Procedures on Escrow Fund:

All required improvements for which escrow monies have been accepted by the Director at the time of issuance of a certificate of occupancy shall be installed by the Subdivider within a period of six (6) months from the date of deposit and issuance of the certificate of occupancy. If the improvements have not been properly installed at the end of the time period, the Director shall give two (2) weeks written notice to the developer requiring it to install the improvements, and if they are not then installed properly, the Director may request the Council to proceed to contract out the work for the installation of the necessary improvements in a sum not to exceed the amount of the escrow deposit. At the time of the issuance of the certificate of occupancy for which escrow monies are being deposited with the City, the builder shall obtain and file with the City prior to obtaining the certificate of occupancy a notarized statement from the purchaser or purchasers of the premises authorizing the City to have the improvements installed at the end of the six-month period if the improvements have not been duly installed by the Subdivider.

4. Escrow With Authorized Agent:

a. The Director may accept proof of an escrow, established with a state licensed title company that guarantees any lot improvements required by the subdivision regulations. The escrow shall guarantee any lot improvements not completed due to seasonal conditions as outlined in 4.06.2. above. Upon acceptance of the Title Company escrow the certificate of occupancy may be issued, provided there is no danger to health, safety, or general welfare. The amount of the escrow is to be determined by Director for the cost of the lot improvements being escrowed.

b. The guarantee from the Title Company shall state that the Title Company will have

the required improvements installed by a professional contractor upon demand of the city.

issued the developer shall provide a letter to the city signed by the occupants and stating that they are aware of limitations of service and that the city will not service the roadway until after the subdivision is accepted by the city.

4.07 ISSUANCE OF BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY

1. Security Required:

When a security has not been provided for a subdivision, no building permit or certificate of occupancy for any building in the subdivision shall be issued prior to the completion of the required public improvements and the acceptance of the dedication of those improvements by the City unless otherwise stipulated in the Council's approval of the final plat of the subdivision.

2. Street Improvements Required:

The extent of street improvement shall be adequate for vehicular access by the prospective occupant(s) and by police and fire equipment prior to the issuance of a certificate of occupancy. For the purposes of this section, adequate generally means "Hard Surfaced", however at the discretion of the Fire Chief and Director a temporary certificate of occupancy may be granted under the following conditions:

- a. The developer can show that asphalt for the subdivision has been scheduled;
- b. All underground improvements that would cause a street to be dug in are installed and inspected and approved by the Public Facilities Inspector; and
- c. Required road base is to be installed and compacted, and it may be reasonably assumed that the weather will not preclude access to a structure. Prior to the temporary certificate of occupancy being